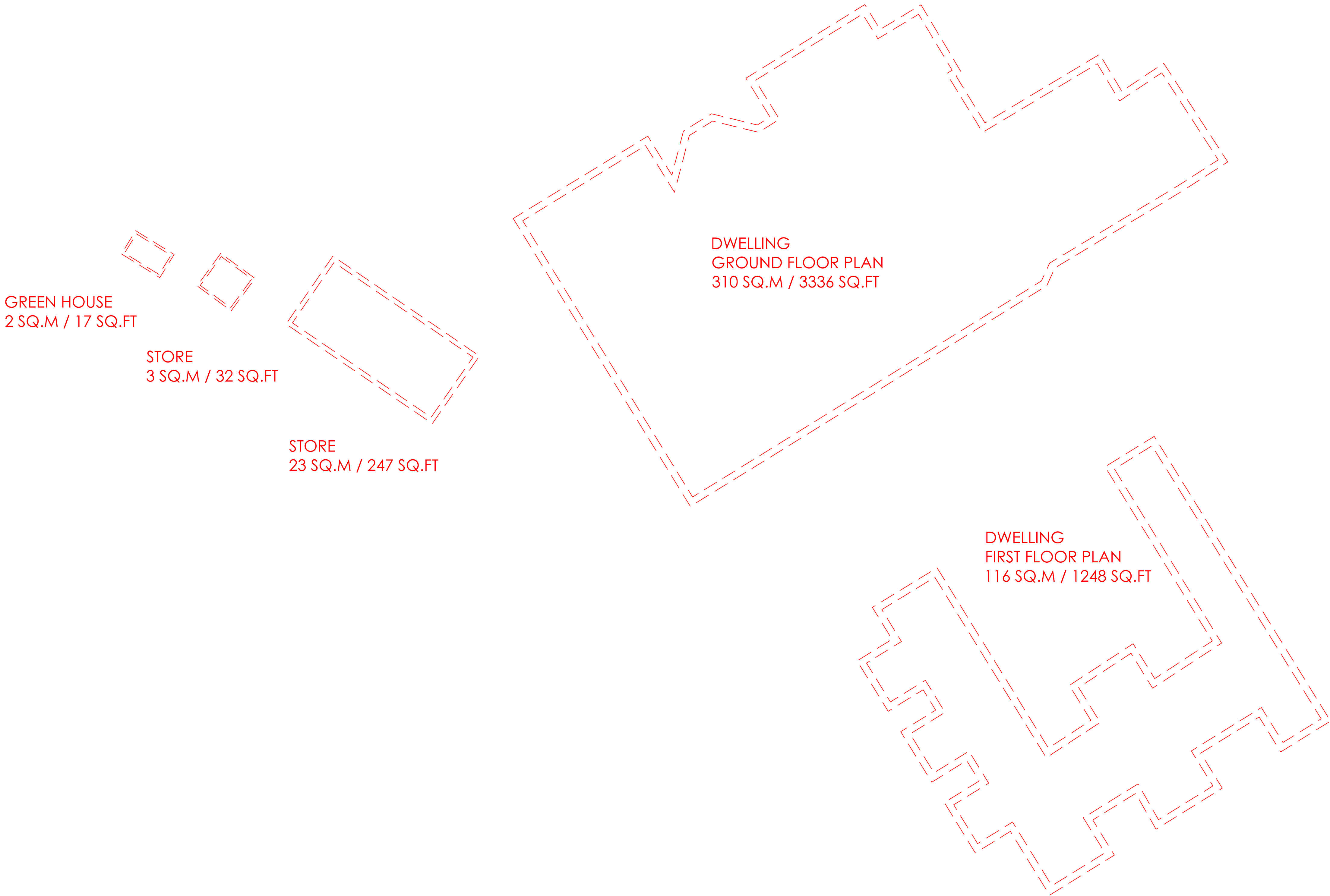


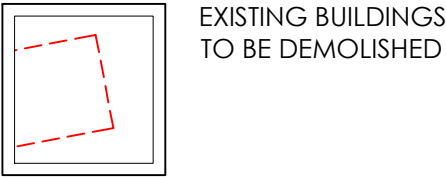
PROPOSED EXISTING FLOOR PLANS
SCALE 1:100



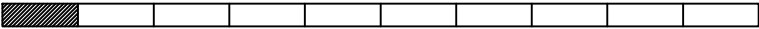
NOTES

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- 2 Scaled drawings for planning purposes only.
- 3 Contractors must verify all dimensions and report any discrepancies before putting work in hand or making any shop drawings.
- 4 All flat roofs to be fitted with a man safe system.
- 5 Please note a domestic sprinkler system maybe required
- 6 Fixed shut fire safety glass windows may be required where windows are in close proximity to boundaries / protected stairway (subject to building regulations)

LEGEND



10m @ 1:100



No.	Revision.	date	by
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20 CHEWTON FARM ROAD
WALKFORD
CHRISTCHURCH
BH23 5QN

EXISTING PLANS - TO BE DEMOLISHED

scale	AS SHOWN @ A1	checked	BC
date	JANUARY 2020	drawn	TC

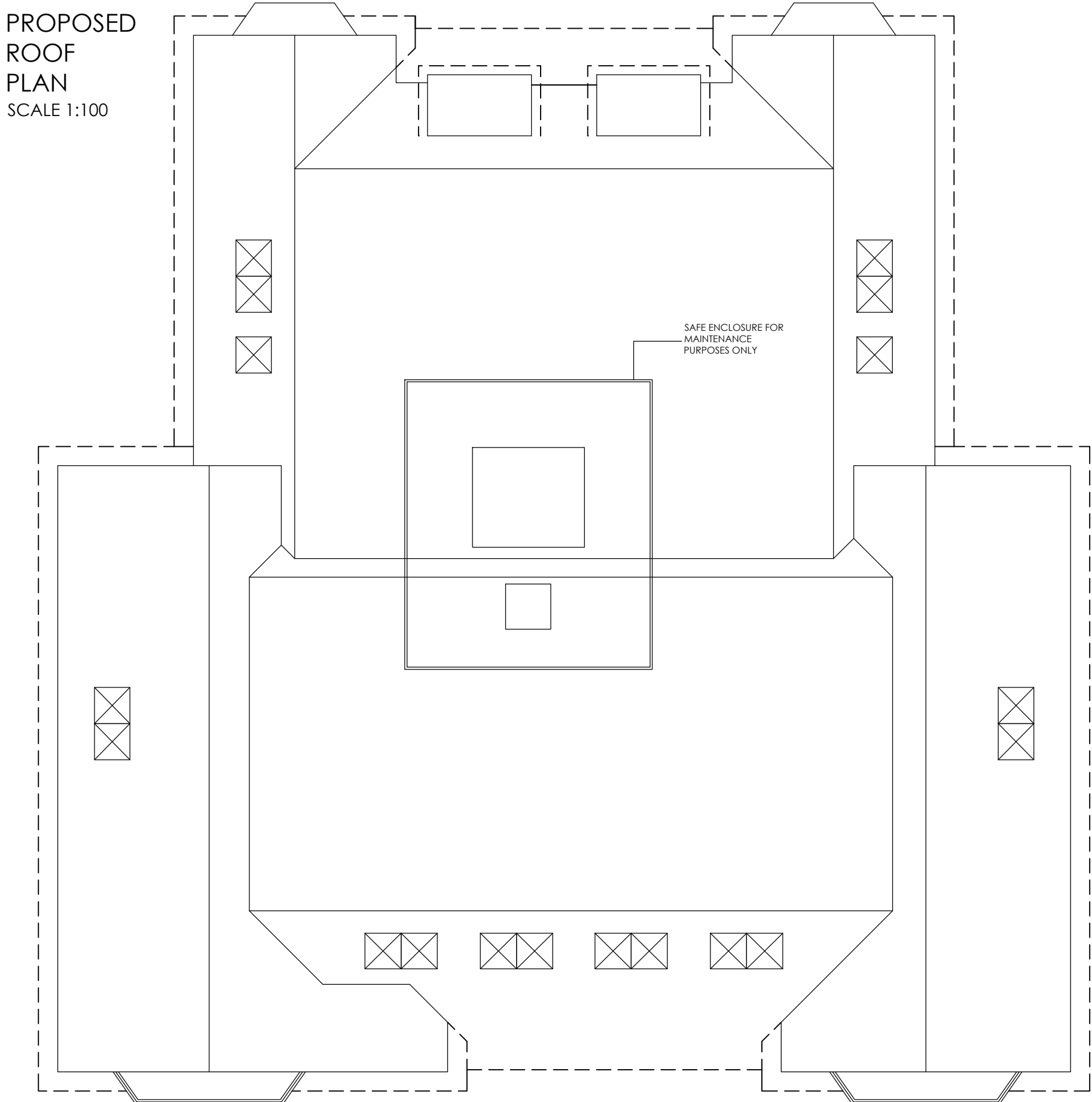
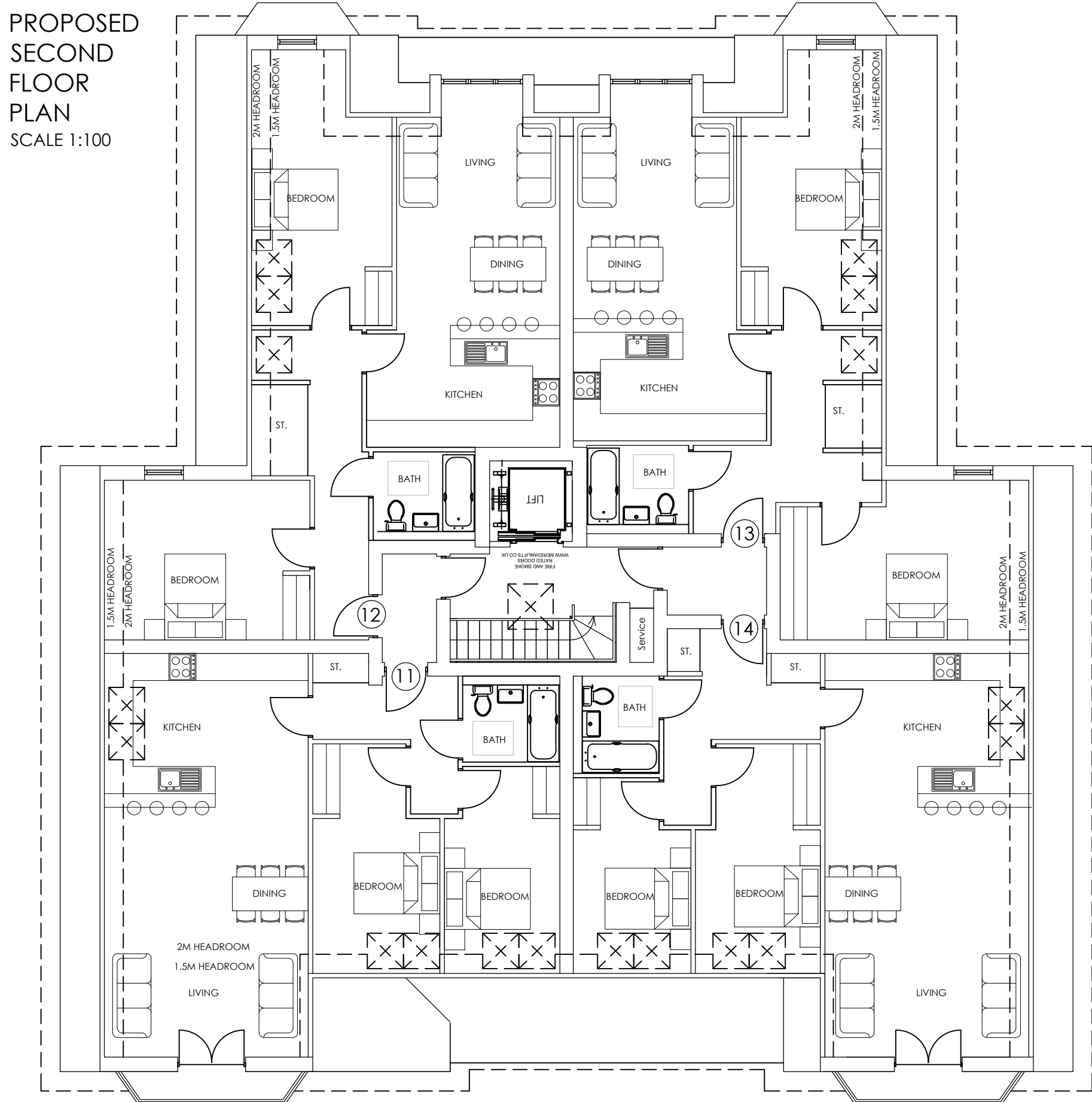
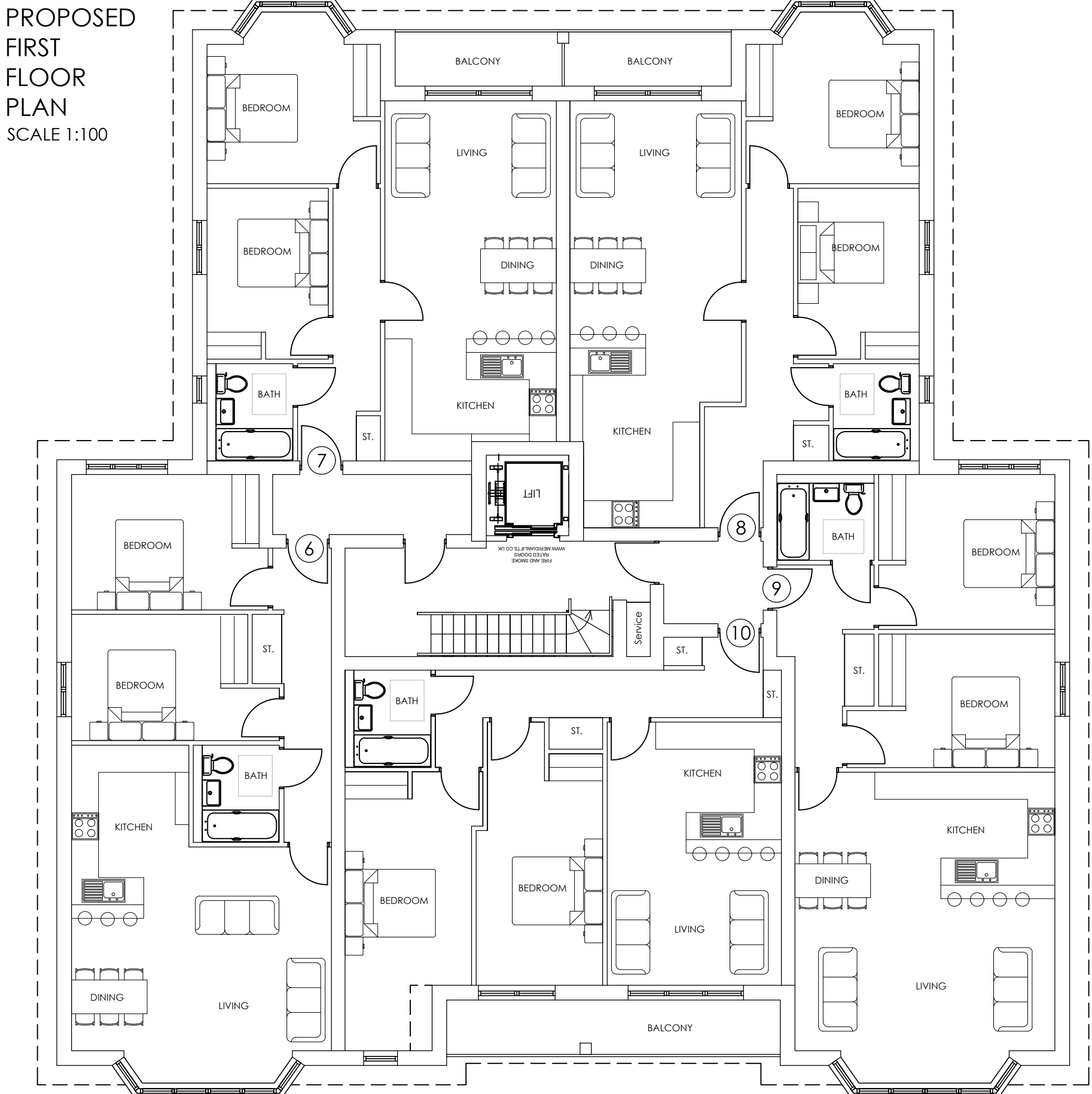
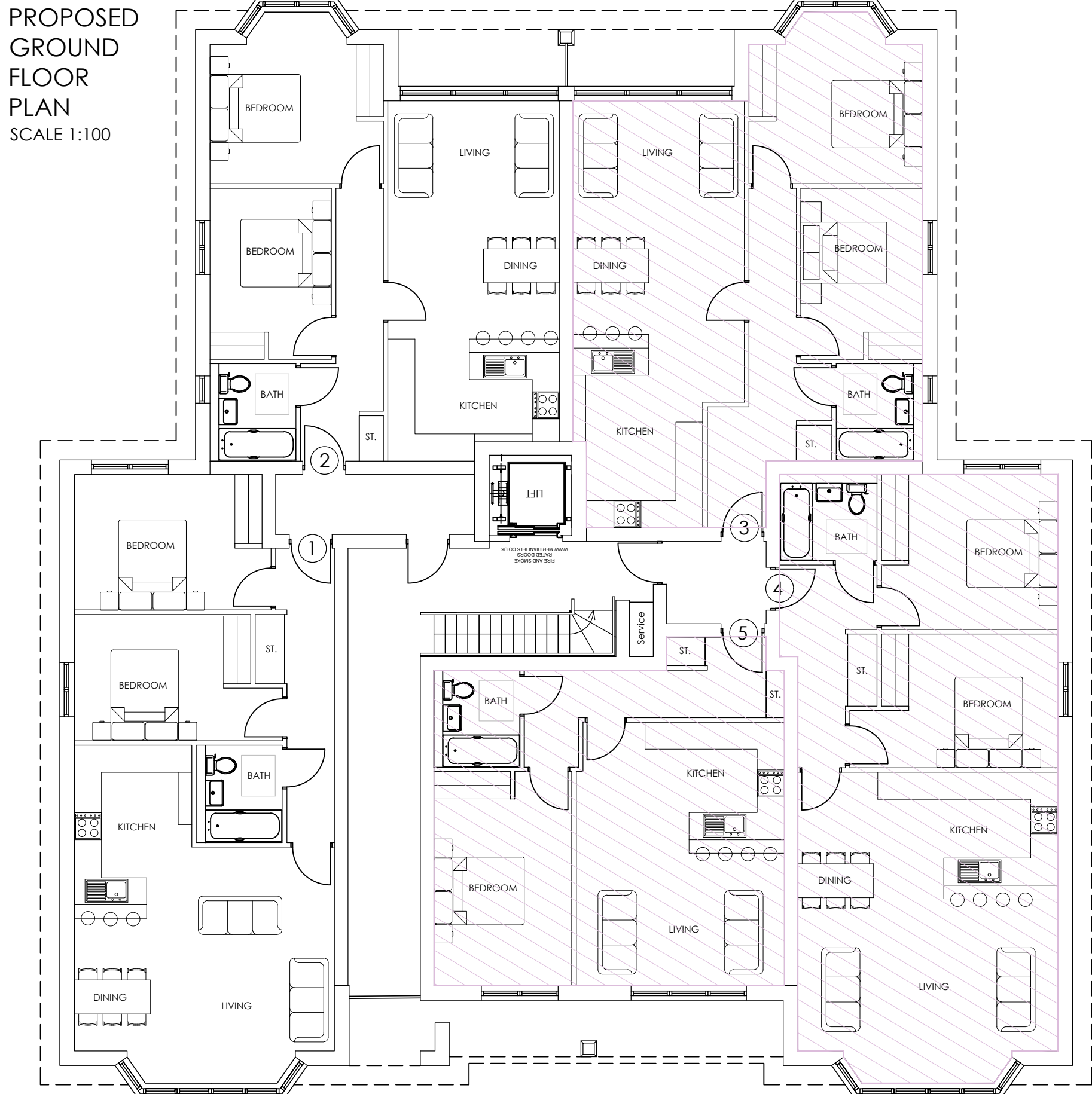
9297/ 104

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- NOTES
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 5. Please note a domestic sprinkler system may be required - check with your building control inspector
 6. Fixed shut fire safety glass windows may be required where windows are in close proximity to boundaries (subject to building regulations).
 7. Stair design to be independently checked by stair fabricator for regs. compliance and sizing, prior to construction/ ordering. Dimensions to be checked before fabrication.
 8. MacIennan waterproofing specialists (or similar company with relevant PI insurance) to be instructed and detail all basement waterproofing designs - ARC carry no responsibility for basement designs in terms of waterproofing or structure in any way.
 9. "AS BUILT" drawings will only be issued upon request from the client/ contractor. All information within as built drawings is to be confirmed and provided by the client/ contractor. ARC Architecture do not perform regular site inspections to guarantee as built information so contractor or client must sign a letter from ARC to confirm compliance with our plans on site.
 10. Any discrepancies between specification notes and details must be clarified for design intention with ARC before continuing with construction.
 11. At Building Regulation stage our instruction is to gain a certificate of building regulations compliance from the chosen inspector (IA or Private).
 12. To ensure compliance with EW51 fire safety forms an independent and an appropriately qualified and insured fire consultant / engineer should be appointed by the client to ensure the finished project can be mortgaged.
 13. A design and risk assessment should form part of our drawing package, if you have not received this from us by post, email or collection please contact us for a copy before moving forward with the project.
 14. At planning stage planning drawings are to only be used for planning purposes.
 15. Mechanical ventilation may be required to basement car parks and apartment lobbies
 16. All Cladding & building attachments to be A1 fire rated.

LEGEND

PROPOSED LEVELS

GL - 37.10

POLICY PP12 OF THE ADOPTED LOCAL PLAN REQUIRES SCHEMES OF 11 OR MORE UNITS TO PROVIDE AT LEAST 20% OF A MIX OF THE HOUSING TYPES ON THE SITE IN ACCORDANCE WITH BUILDING REGULATIONS PART M4(2) FOR ADAPTABLE AND ACCESSIBLE HOMES.

10m @ 1:100

SCHEDULE	
GROUND FLOOR -	
UNIT 1 : 2 BED FLAT -	73 SQ.M / 828 SQ.FT
UNIT 2 : 2 BED FLAT -	67 SQ.M / 721 SQ.FT
UNIT 3 : 2 BED FLAT -	73 SQ.M / 785 SQ.FT
UNIT 4 : 2 BED FLAT -	77 SQ.M / 828SQ.FT
UNIT 5 : 1 BED FLAT -	55 SQ.M / 592 SQ.FT
FIRST FLOOR -	
UNIT 6 : 2 BED FLAT -	73 SQ.M / 828 SQ.FT
UNIT 7 : 2 BED FLAT -	67 SQ.M / 721 SQ.FT
UNIT 8 : 2 BED FLAT -	73 SQ.M / 785 SQ.FT
UNIT 9 : 2 BED FLAT -	77 SQ.M / 828SQ.FT
UNIT 10 : 2 BED FLAT -	69 SQ.M / 742 SQ.FT
SECOND FLOOR -	
UNIT 11 : 2 BED FLAT -	78 SQ.M / 840 SQ.FT
UNIT 12 : 2 BED FLAT -	81 SQ.M / 872 SQ.FT
UNIT 13 : 2 BED FLAT -	83 SQ.M / 893 SQ.FT
UNIT 14 : 2 BED FLAT -	80 SQ.M / 861 SQ.FT

RESIDENTIAL BLOCK GIA =	1690 SQ.M / 18191 SQ.FT
BIN STORE GIA =	13 SQ.M / 140 SQ.FT
PROPOSED TOTAL GIA =	1703 SQ.M / 18330 SQ.FT

D	Planning officer comments	11.11.20	TC
C.	Smoke vent moved	27.08.20	JA
B.	Revised roofline and detailing	27.05.20	TC
A.	Arc changes	24.02.20	TC
No.	Revision.	date	by

20 CHEWTON FARM ROAD
WALKFORD
CHRISTCHURCH
BH23 5QN

PROPOSED FLOOR PLANS	
scale AS SHOWN @ A1	checked BC
date NOVEMBER 2020	drawn TC
9297/ 101	A B C D

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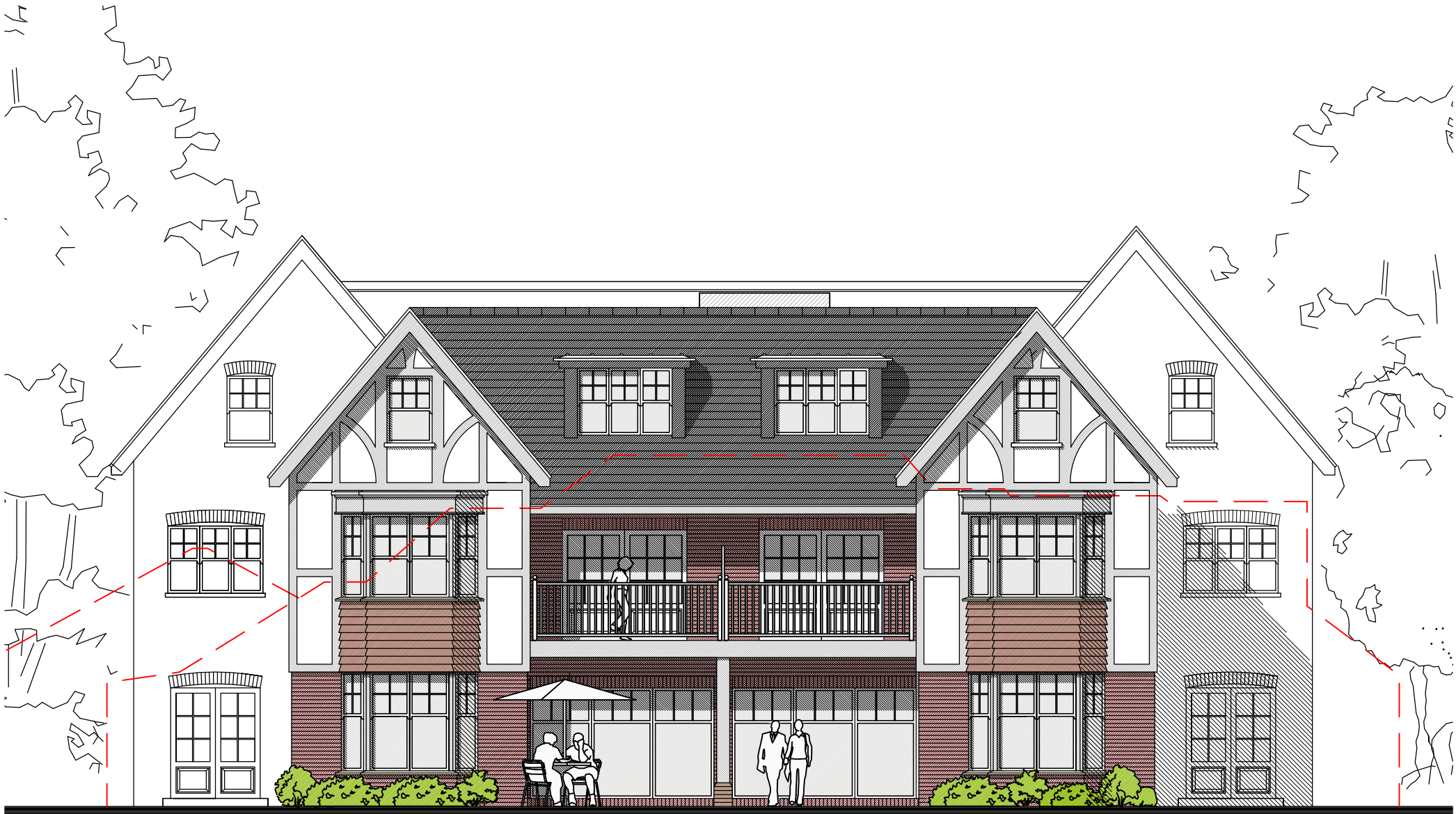
arc
ARCHITECTURE



PROPOSED (FRONT) SOUTH EAST ELEVATION
SCALE 1:100



PROPOSED (SIDE) NORTH EAST ELEVATION
SCALE 1:100



PROPOSED (REAR) NORTH WEST ELEVATION
SCALE 1:100



PROPOSED (SIDE) SOUTH WEST ELEVATION
SCALE 1:100

NOTES

1. The contents of this drawing are copyright.
2. Do not scale. Figured dimensions only to be used.
3. Contractors must verify all dimensions and report any discrepancies before putting work in hand or making any shop drawings.
4. All flat roofs to be fitted with a man safe system to satisfy CDM 2015 regulations unless written confirmation from Principle Designer/ Principle Contractor is provided to show alternative compliance has been sought and approved.
5. Please note a domestic sprinkler system may be required - check with your building control inspector
6. Fixed shut fire safety glass windows may be required where windows are in close proximity to boundaries (subject to building regulations).
7. Stair design to be independently checked by stair fabricator for regs. compliance and sizing, prior to construction/ ordering. Dimensions to be checked before fabrication.
8. Madiennan waterproofing specialists (or similar company with relevant PI insurance) to be instructed and detail all basement waterproofing designs. - ARC carry no responsibility for basement designs in terms of waterproofing or structure in any way.
9. "AS BUILT" drawings will only be issued upon request from the client/ contractor. All information within as built drawings is to be confirmed and provided by the client/ contractor. ARC Architecture do not perform regular site inspections to guarantee as built information so contractor or client must sign a letter from ARC to confirm compliance with our plans on site.
10. Any discrepancies between specification notes and details must be clarified for design intention with ARC before continuing with construction.
11. At Building Regulation stage our instruction is to gain a certificate of building regulations compliance from the chosen inspector (LA or Private)
12. To ensure compliance with EWS1 fire safety forms an independent and an appropriately qualified and insured fire consultant / engineer should be appointed by the client to ensure the finished project can be mortgaged.
13. A design and risk assessment should form part of our drawing package, if you have not received this from us by post, email or collection please contact us for a copy before moving forward with the project.
14. At planning stage planning drawings are to only be used for planning purposes.
15. Mechanical ventilation may be required to basement car parks and apartment lobbies
16. All Cladding & building attachments to be A1 fire rated.

LEGEND

EXISTING BUILDINGS
TO BE DEMOLISHED

10m @ 1:100

MATERIAL SCHEDULE

- WALLS :
1. BRICK
 2. RENDERED ON BEAMS
 3. CLAY TILE HANGING
- ROOF :
1. SLATE ROOF TILES
- WINDOWS :
1. LIGHT GREY WINDOW FRAMES

F	Planning officer comments	11.11.20	TC
E	North east elevation amended.	03.09.20	JA
D	Basement ramp shown on north east elevation. External door heights amended.	27.08.20	JA
C	Revised roofline and detailing	27.05.20	TC
B	Existing outlines added	12.03.20	TC
A	Arc changes	24.02.20	TC

No.	Revision.	date	by
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20 CHEWTON FARM ROAD
WALKFORD
CHRISTCHURCH
BH23 5QN

PROPOSED ELEVATIONS

scale	AS SHOWN @ A1	checked BC					
date	NOVEMBER 2020	drawn TC					
9297/ 102		A	B	C	D	E	F

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[illegible]

2. The contents of this drawing are approved by the client.
3. 2 lots sold. Flogged diagram only to be used.
- 3 Contractors must verify all dimensions and report any discrepancies before putting work in hand or commencing any work.
4. All flat roofs to be fitted with a main safety system to satisfy CDAM 2015 regulations unless written confirmation from Principle Designer/ Principle Contractor is provided to show alternative compliance.
5. All work to be carried out in accordance with the relevant building codes and standards.
5. Please note a domestic sprinkler system may be required - check with your building control inspector if you are unsure.
6. All work to be carried out in accordance with the relevant building codes and standards and in close proximity to boundaries (subject to building regulations).
7. All steel design to be independently checked by steel fabricator for regn, compliance and sizing, prior to construction or installation of any steelwork.
8. A Mediaman waterproofing specialists (or similar company with relevant PI insurance) to be instructed and detail all basement waterproofing designs. ACN carry no responsibility for basement design in this drawing.
9. All "AS BUILT" drawings will only be issued upon request from the client/ contractor. All information within this drawing is for information only and is not to be used for any other purpose.
10. A performance ratio site inspections to guarantee as built information so contractor or client must sign a letter from ACN to confirm compliance with our plans and specifications.
11. All differences between specifications and details must be clarified for design intention with ACN before continuing with construction.
12. All work to be carried out in accordance with the relevant building codes and standards.
13. All work to be carried out in accordance with the relevant building codes and standards and in close proximity to the chosen inserter (IA or Private).
14. To ensure compliance with EWS6 Fire safety provisions the client to ensure an appropriately qualified person to carry out a structural fire assessment of the building to ensure the design is compliant and that the design can be mortgaged.
15. A design and cost assessment should form part of our drawing package, if you have received this then you do not need a collection please contact us for a copy before moving forward with the project.
16. At planning stage planning drawings are to only be used for planning purposes.
17. Mechanical installation to be carried out in accordance with the relevant building codes and standards.
18. All Cladding & building attachments to be A1 fire rated.

EXISTING BUILDINGS
TO BE DEMOLISHED



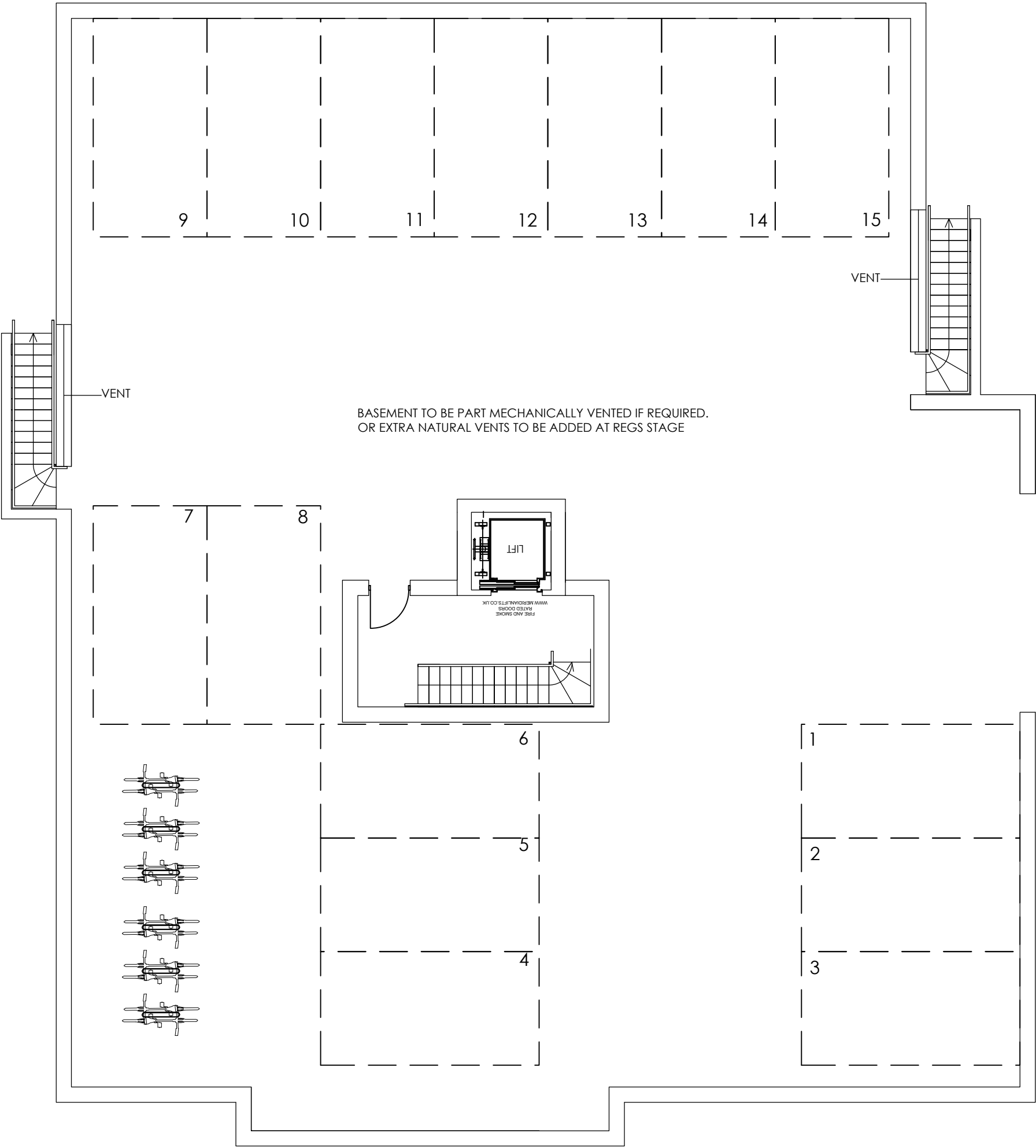
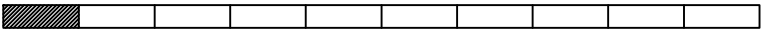
No.	Revision.	date	by
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scale	AS SHOWN @ A1	checked	BC
date	NOVEMBER 2020	drawn	TC

ARC Architecture Ltd.



10m @ 1:100



PROPOSED LOWER GROUND FLOOR PLAN
SCALE 1:100

NOTES

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14. At planning stage planning drawings are to only be used for planning purposes.
15. Mechanical ventilation may be required to basement car parks and apartment lobbies
16. All Cladding & building attachments to be A1 fire rated.

D.	Client changes to stair	13.11.20	TC
C.	Planning officer comments	11.11.20	TC
B.	Stair to basement removed	07.09.20	JA
A.	Additional parking space shown.	03.09.20	JA

No.	Revision.	date	by
-----	-----------	------	----

20 CHEWTON FARM ROAD
WALKFORD
CHRISTCHURCH
BH23 5QN

PROPOSED BASEMENT PARKING PLAN

scale	AS SHOWN @ A2	checked	BC
date	NOVEMBER 2020	drawn	JA / TC

9297/ 105

A	B	C	D				

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General Notes
Do not scale off drawing - refer to the tree data schedule for accurate crown spread measurements.
Depictions of tree canopies are based on measurements taken to four cardinal compass points.
No liability of any kind is accepted for any omissions or inaccuracies in respect of this plan.
The original of this drawing was produced in colour - a monochrome copy should not be relied upon.
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Tree Protective Fencing

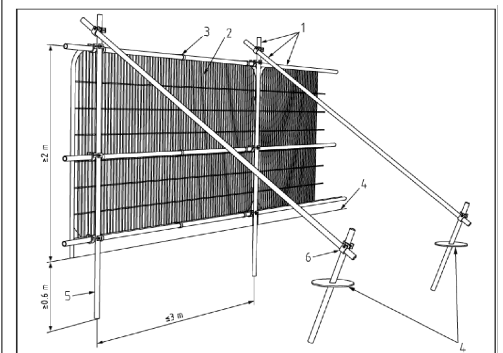
- Trees for removal to be identified from the drawing and marked by an arboriculturist.
- No vehicles to enter the grass verge or root protection zone during tree removal or fencing installation/removal.
- Fencing to be installed prior to any construction works (including demolition, materials delivery, works compound installation).
- The location of the tree protective fencing is indicative only and must not be directly measured from this plan. Its true location must be surveyed accurately on site and where applicable be measured from the tree centre by the stated dimension value.
- Fencing to remain in place until all construction works have ceased.

BS5837: 2012 Recommendations (extract)

6.2.2 - Barriers
6.2.2.1 - Barriers should be fit for the purpose of excluding construction activity and appropriate to the degree and proximity of work taking place around the retained tree(s). Barriers should be maintained to ensure that they remain rigid and complete.
6.2.2.2 - The default specification should consist of a vertical and horizontal scaffold framework, well braced to resist impacts, as illustrated in Figure 2. The vertical tubes should be spaced at a maximum interval of 3m and driven securely into the ground. Onto this framework, welded mesh panels should be securely fixed.

Default Fencing Specification

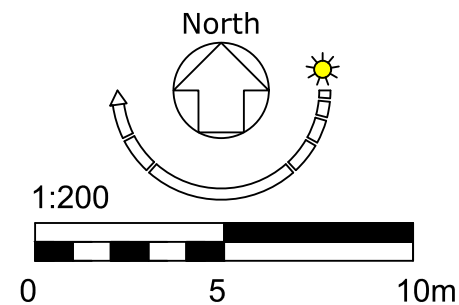
The fencing will consist of a scaffold framework supporting standard GS7/Heras styled steel security fencing panels. The scaffolding will consist of vertical poles set no more than 3m apart onto which 3 horizontal poles are securely clamped with the whole structure braced with diagonal poles (see diagram below for layout of scaffold poles). The Heras styled panels must be securely fixed to the scaffold structure using wire or other fixings.



- Key
- Standard Scaffold poles
 - Heavy gauge 2m tall galvanized tube and welded mesh infill panels.
 - Diagonal bracing
 - Ground level
 - Uprights driven into ground until secure (min depth 0.6m).
 - Standard scaffold clamps.

Why Is Fencing Erected Around Trees?

- The major cause of damage to trees on construction sites is due to soil compaction.
- Roots use the spaces between soil particles to obtain Oxygen, Water and Nutrients.
- Heavy plant and machinery compresses (compacts) the soil, squashing out the air spaces and preventing root function.
- A compacted soil structure will stay compacted.
- Consequently the tree suffers and will show signs of branch die-back.
- Symptoms such as die-back may take several years to appear.
- Soil compaction over roots can be prevented by maintaining a fenced exclusion zone over the tree roots.
- The exclusion zone is calculated using British Standard 5837.
- Protective Fencing is installed around the calculated area.
- Protective Fencing is a condition of planning approval, if it is removed or repositioned the construction firm is in breach of a condition and may be subjected to legal action.



Key

- T01** Tree or Group Reference Number
- Tree Stem Position
A category Tree
- Tree Stem Position
B category Tree
- Tree Stem Position
C category Tree
- Tree Stem Position
U category Tree
- Tree Crown
(and optional direction arrow of first significant branch).
- Root Protection Area
- Trees Proposed to Remove
- Tree protective Fencing
- Ground Protection

Tree Protection Plan

Drawing No: RNapc/028/TPP/revB
Demolition and Construction

Date: 18th September 2020

Scale: 1:200 - A2

Client: Fortitudo Ltd

Site Address: 20 Chewton Farm Road, Walkford, Christchurch.

Revision:
Date:
Details:

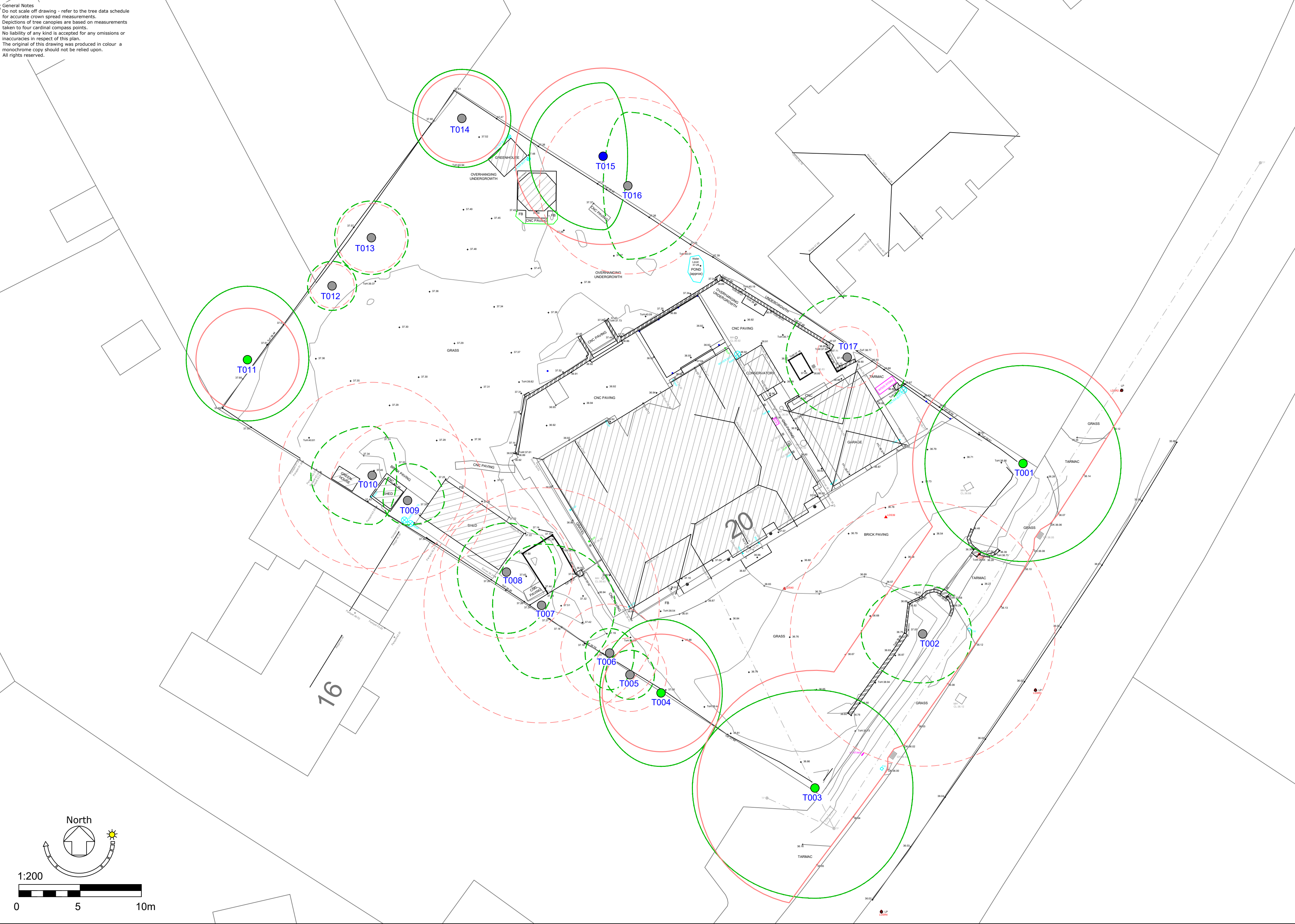
Drawn By: CS
Checked By: RN

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RN
apc

General Notes
Do not scale off drawing - refer to the tree data schedule for accurate crown spread measurements.
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The original of this drawing was produced in colour - a monochrome copy should not be relied upon.
All rights reserved.



Tree Constraints Plan

Key

- Tree or Group Reference Number
- Tree Stem Position A category Tree
- Tree Stem Position B category Tree
- Tree Stem Position C category Tree
- Tree Stem Position U category Tree
- Tree Crown (and optional direction arrow of first significant branch).
- Trees Proposed to Remove
- Root Protection Area

Drawing Title: Tree Constraints Plan	
Drawing No: RNapc/028/TCP/1	
Date: 13th December 2019	
Scale: 1:200 - A2	
Client: Fortitudo Ltd	
Site Address: 20 Chewton Farm Road, Walkford, Christchurch.	
Revision: Date: Details:	

Drawn By: CS	Checked By: RN
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RN apc	