

DESIGNERS RISK ASSESSMENT

Building Products and Construction Execution Hazards

The design team have highlighted unusual and significant risks only that may not be obvious to a competent contractor. They are to assist with risk reduction only and are not necessarily comprehensive. It is assumed that all works will be carried out by a competent contractor following good site management, site practice procedures, to an approved method statement (where appropriate) and in accordance with HSE guidance.

The proposed works are designed on a well established method of construction which can be carried out by a competent contractor. However, should the contractor find any area of concern he must inform the designer in order that appropriate action can be taken.

For significant hazards specific to this project see the following:

GENERAL NOTES:

- Principal Contractor to provide method statements for the safe working practice for: demolition, excavations, cutting of materials, support of adjacent structures, protecting personnel, neighbours & the public, working at height including crash bags & fall restraint systems.
- Principal Contractor to ensure Temporary Works Designer and Coordinator appointed for all propping works for structural alterations of existing building, including temporary guardrail and edge protection around voids and stairwells.
- This Designers Risk Assessment should be passed on to the Appointed Principal Designers and on Principal Contractor carrying out the next phase of works on this site.

INFORMATION

CDM - PRE-CONSTRUCTION INFO FROM CLIENT

CDM Information requested from client:
1) Topographical Survey

Outstanding CDM information remains as residual risk, please request ARC appendix B for full list requested.

DESIGN INFORMATION

Further design info to be provided at subsequent stages of design / building regulations process

CONSTRUCTION RISKS

** MAINTAINING STRUCTURAL SUPPORT FOR ADJACENT STRUCTURES

** MAINTAINING STRUCTURAL SUPPORT TO BOUNDARIES WHERE LEVELS DIFFER WITHIN ADJACENT OWNERSHIP / PUBLIC LAND / HIGHWAYS

PLACEMENT OF SUDS

When positioning heavy machinery - The layout of the proposed SUDS plan should be considered by the Principal Contractor during the construction phase plan

GLAZING IN CLOSE PROXIMITY TO BOUNDARY

Self cleaning glass to be specified where possible

PLACEMENT OF ROOF FEATURES (SOLAR PANELS / AOV'S / PLANT ETC)

Positioning of roof features to be as remote from edge of building as possible

FLAT ROOF ACCESS

Roof access for construction to be undertaken by specialist using specialist equipment. e.g. scaffolding, appropriately designed and installed man safe system by specialist designer.

ROOFLIGHT SPECIFICATION

To be designed by specialist supplier to be structurally sound (where roof access is required), and to incorporate self cleaning glass

PROXIMITY TO OVERHEAD SERVICES

Mitigation / Diversion to be considered by Principal Contractor within Construction Phase Plan, pre-construction works starting on site.

TEMPORARY GUARDING

To be installed during construction to prevent falling on existing uneven and stepped terrain

SOLAR PANELS

Solar panels to be positioned as far from edges of flat roof as feasibly possible.

MAINTENANCE RISKS

CLEANING WINDOWS

Windows and balcony glass above ground floor level to be cleaned from ground level by specialist using specialist equipment. e.g. long reach and clean systems.

CLEANING GUTTERS

Gutters to be cleaned from ground level by specialist using specialist equipment. e.g. long reach and clean systems where possible. Parapets and valleys to be accessed when required via scaffolding - to be assembled by a specialist.

STAINING TIMBERS

Low maintenance imitation cladding to be specified to avoid high level maintenance.

FLAT ROOF ACCESS

Plant or apparatus on the roof to be kept to a minimum and positioned away from edges/ potential falls.

Roof access for maintenance to be undertaken by specialist using specialist equipment. e.g. permanent 950mm guarding / scaffolding / appropriately designed and installed man safe system by specialist designer.

IN - USE RISKS

FLOOD RISK

SUDS plan to be designed at building regulations phase to provide excess surface water drainage

MEANS OF ESCAPE

To be reviewed by specialist with a view towards protected staircase. e.g. is the first floor an acceptable exit, if not, glass wall to swimming pool may need to be fireproof.

DEMOLITION RISKS

REFURBISHMENT AND DEMOLITION SURVEY

Hazardous material survey to be undertaken prior to any on site works commencing - including stripping out.

SLIPPERY FLOORS (swimming pools / roof terraces)

Non slip floors to be specified

ROOF TERRACE

Mains Fire alarm system to have siren at roof terrace level to alert persons of potential fire in the building below.

TREE REMOVAL

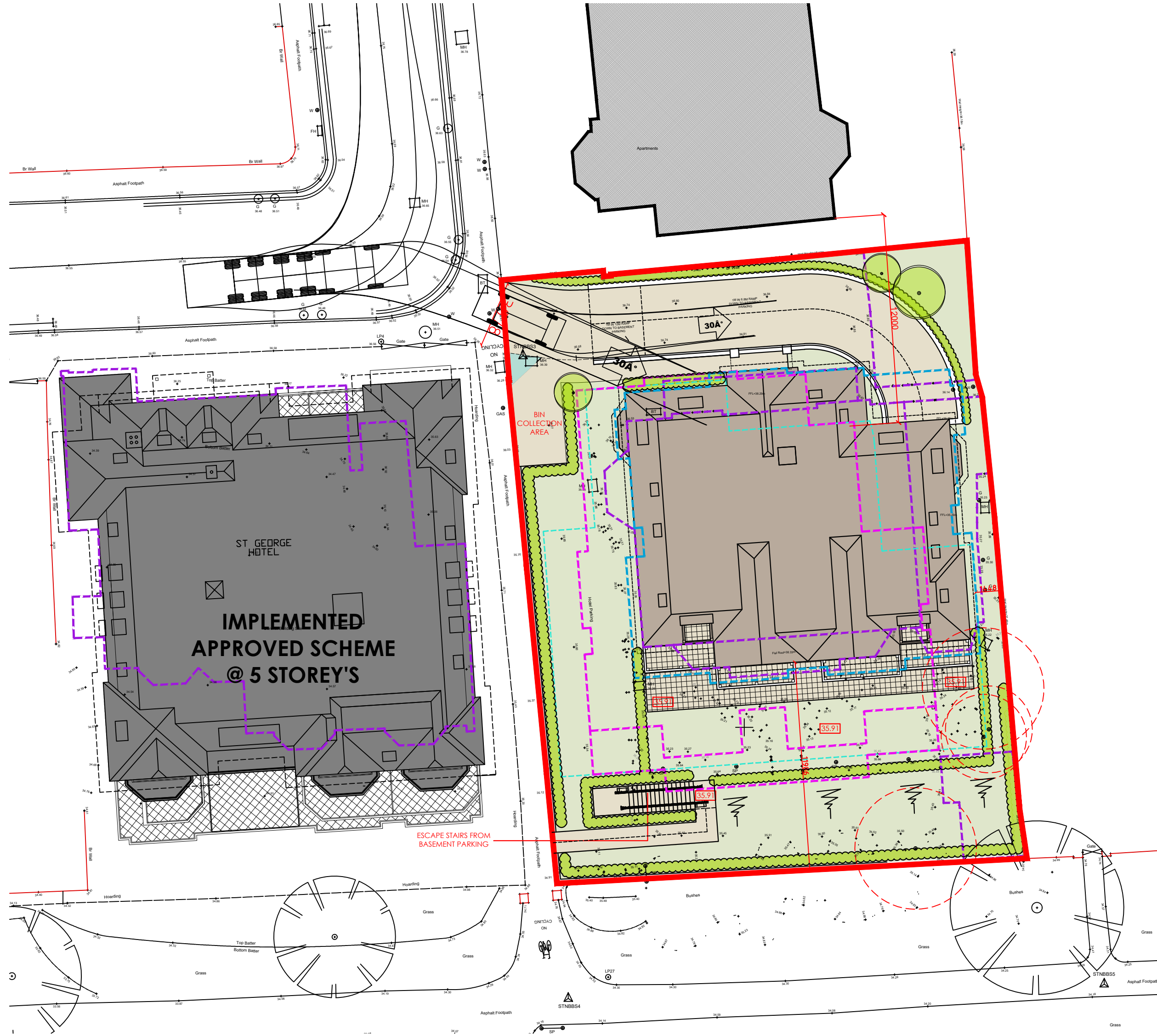
Tree removal/ trimming works to undertaken prior to any on building works commencing by approved arboricultural surgeon. Waste to be removed from site responsibly.

BASEMENTS

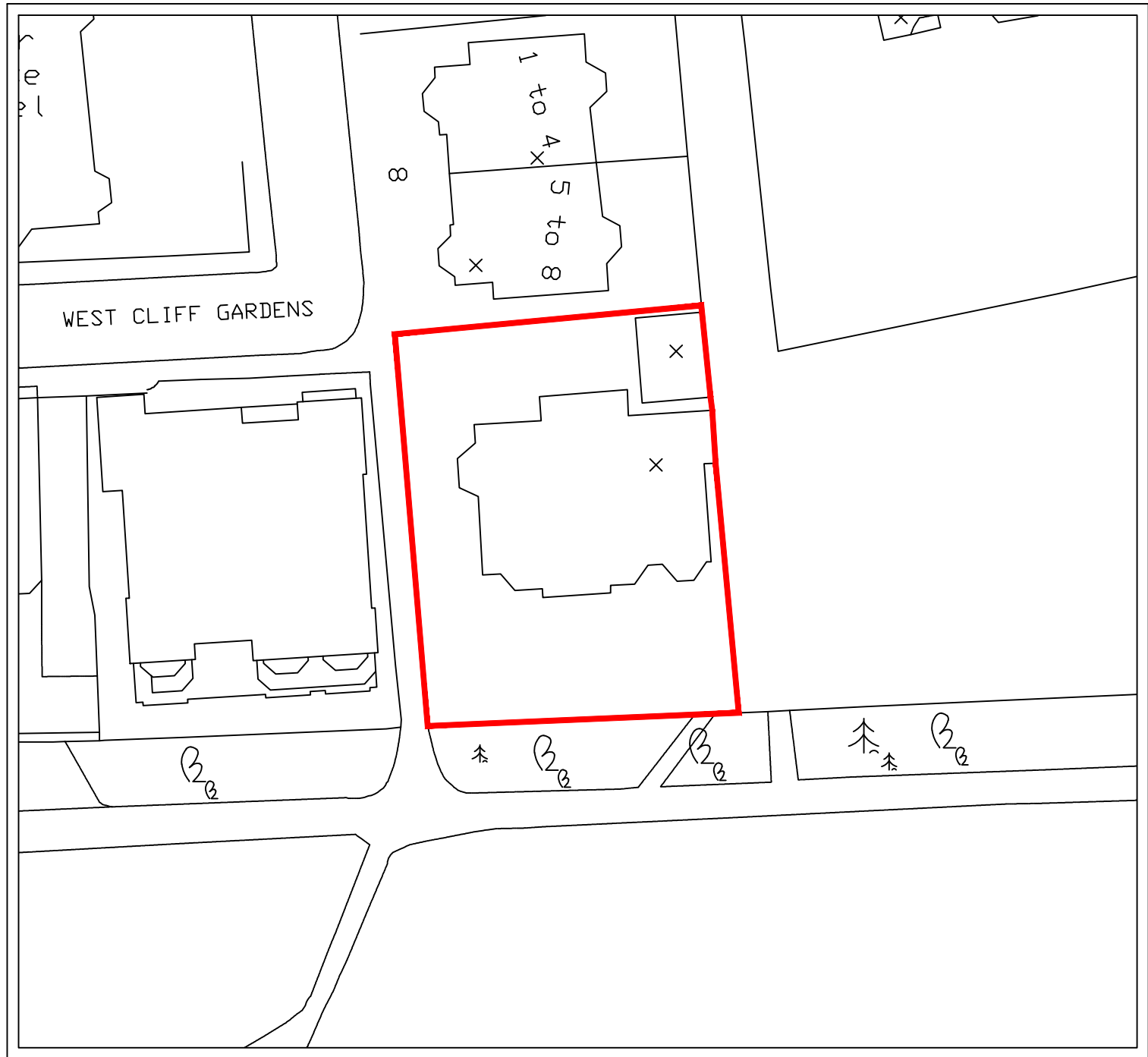
Basement design fire engineering strategy to be provided by qualified fire engineer with a view to compliance with part B. e.g. - Mains Fire alarm system to have siren within basement to alert persons of potential fire in the house above.

BASEMENTS

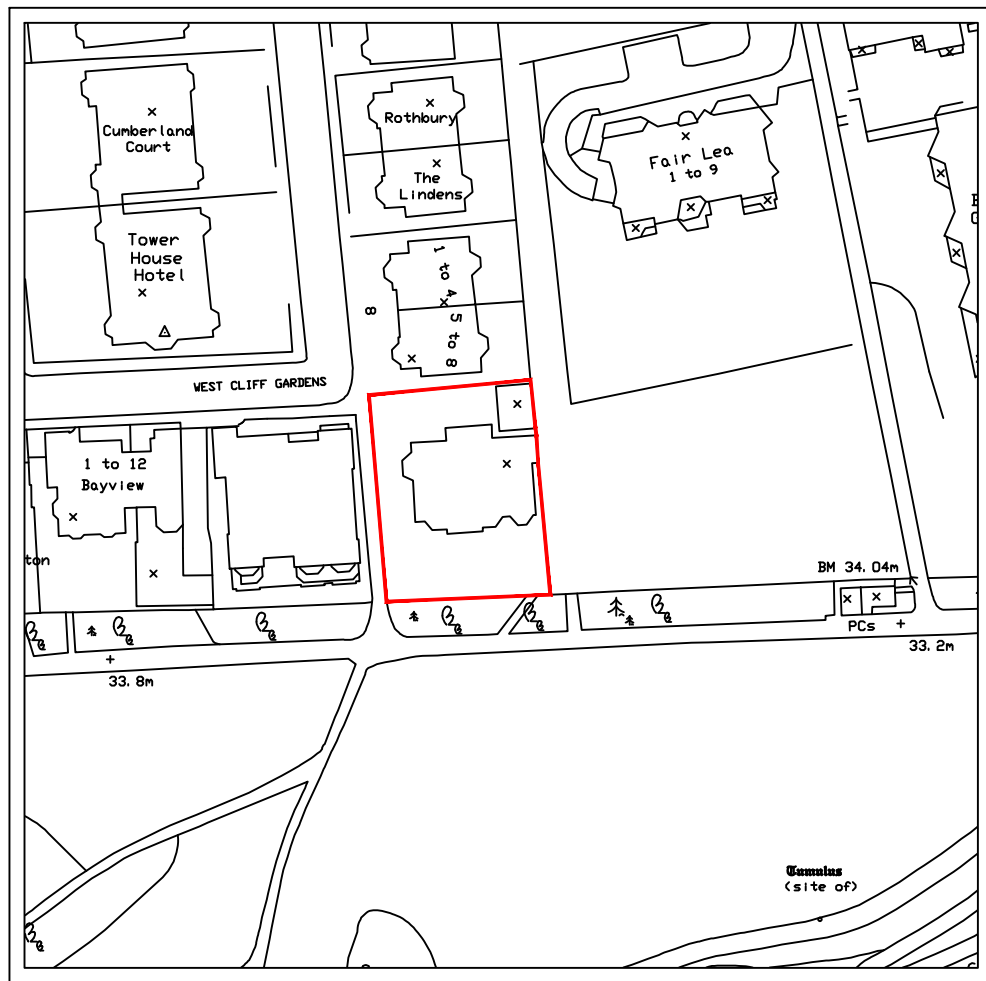
Mains Fire alarm system to have siren within basement to alert persons of potential fire in the house above.



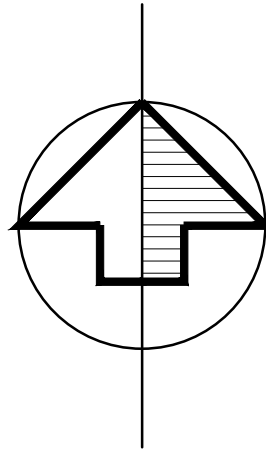
SITE PLAN: BASED ON TOPOGRAPHICAL SURVEY INFORMATION
SCALE 1:200



BLOCK PLAN: BASED ON ORDNANCE SURVEY EXTRACT
O.S. LICENSE NO. - 100007080
SCALE 1:500



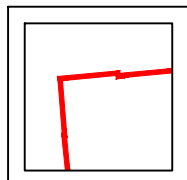
LOCATION PLAN: BASED ON ORDNANCE SURVEY EXTRACT
O.S. LICENSE NO. - 100007080
SCALE 1:1250



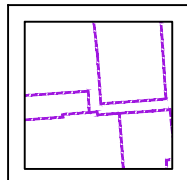
- The contents of this drawing are copyright.
- Do not scale. Figured dimensions only to be used.
- Contractor must verify all dimensions and report any discrepancies before putting work in hand or making any shop drawings.
- All flat roofs to be fitted with a man safe system to satisfy CDM 2015 regulations unless written confirmation from Principle Designer/ Principle Contractor is provided to show alternative compliance has been sought and approved.
- Please note a sprinkler system and mechanical smoke extraction may be required in all or some areas of the building inc. basement car parks - Qualified fire consultant to confirm as part of fire safety report - to be instructed by client or contractor to cover all aspects of Fire Safety / Part B.
- Fixed shut fire safety glass windows may be required where windows are in close proximity to boundaries (subject to building regulations).
- Stair design to be independently checked by stair fabricator for reg. compliance and sizing, prior to construction/ ordering. Dimensions to be checked before fabrication.
- Basement waterproofing specialist (or similar company with relevant P1 insurance) to be instructed and detail all basement waterproofing designs. - ARC carry no responsibility for basement designs in terms of waterproofing or structure in any way.
- "AS BUILT" drawings will only be issued upon request from the client/ contractor. All information within as built drawings is to be confirmed and provided by the client/ contractor. ARC Architecture do not perform regular site inspections to guarantee as built information a contractor or client must sign a letter from ARC to confirm compliance with our plans on site.
- Any discrepancies between specification notes and details must be clarified for design intention with ARC before continuing with construction.
- At Building Regulation stage our instruction is to gain a certificate of building regulations compliance from the clients chosen inspector (LA or private alternative)
- To ensure compliance with EWS1 fire safety forms, an independent and an appropriately qualified and insured fire consultant / engineer should be appointed by the client to ensure the finished project can be mortgaged.
- A design and risk assessment should form part of our drawing package. If you have not received this from us by post, email or collection please contact us for a copy before moving forward with the project.
- At planning stage planning drawings are to only be used for planning purposes.
- At Cladding & building attachments to be all A1 fire rated.
- We take no responsibility for the depicted site ownership boundary. Clients must notify us if they feel the our plans do not accurately depict their ownership or area of control.

Note: Any design or details relating to Fire Safety, including under Part B of the Building Regulations is shown for indicative/information purposes only and is subject to appropriate external professional input. No assumption of any responsibility is accepted.

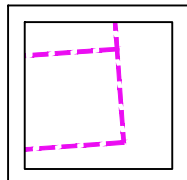
LEGEND



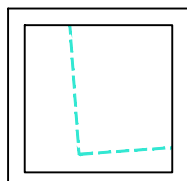
SITE BOUNDARY



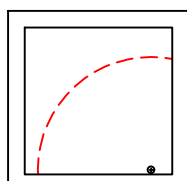
EXISTING TO BE DEMOLISHED



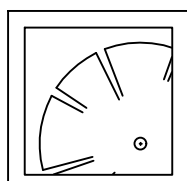
OUTLINE OF REFUSED APPLICATION



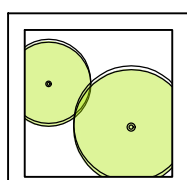
OUTLINE OF UNDERGROUND BASEMENT



TREES TO BE REMOVED



TREES TO BE RETAINED



INDICATIVE PLANTING

SITE AREA: 0.095 HECTARES / 0.234 ACRES

14 X PARKING SPACES

30 X CYCLE SPACES

PROPOSED GIA - 1,750.0 SQM / 18,837 SQFT

EXISTING GIA - 1,243.5 SQM / 13,385 SQFT

E.	Path added from basement stairs to public footpath.	15.07.21	WD
D.	Bay windows amended, basement entrance added to elevations, cycle ramp added to escape stairs for cycles, ramp moved 5m from footpath & parking spaces for electric cars highlighted.	13.07.21	WD
C.	Further reductions to scheme following comments.	01.07.21	WD
B.	Scheme reduced following comments.	14.06.21	WD
A.	Underground bin section added.	17.03.21	WD

No.	Revision.	date	by
-----	-----------	------	----

PROPOSED DEVELOPMENT

RIVIERA HOTEL

5 WEST CLIFF GARDENS

BOURNEMOUTH

BH2 5HL

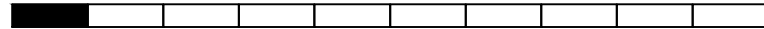
SITE, BLOCK & LOCATION PLANS

scale	AS SHOWN @ A1	checked	//
date	JANUARY 2021	drawn	WD
9097/300		A	B
		C	D
		E	

ARC Architecture Ltd.

Chapel Studios, 14 Purewell,
Christchurch, Dorset, BH23 1EP

Tel: +44 (0) 1202 479919
E-mail: enquiries@andersrobertscheer.co.uk
Web: www.andersrobertscheer.co.uk



NOTES

1. The contents of this drawing are copyright.
2. Do not scale. Figured dimensions only to be used.
3. Contractors must verify all dimensions and report any discrepancies before putting work in hand or making any shop drawings.
4. All flat roofs to be fitted with a rain safe system to satisfy CDM 2015 regulations unless written confirmation from Principle Designer/ Principle Contractor is provided to show alternative compliance has been sought and approved.
5. Please note a sprinkler system and mechanical smoke extraction may be required in all or some areas of the building i.e. basement car parks. Qualified fire consultant to confirm as part of fire safety report.
6. Fixed shut fire safety glass windows may be required where windows are in close proximity to boundaries (subject to building regulations).
7. Stair design to be independently checked by stair fabricator for reg. compliance and sizing prior to construction/ ordering. Dimensions to be checked before fabrication.
8. Macleantron waterproofing specialists (or similar company with relevant PI insurance) to be instructed and detail all basement waterproofing designs. - AAC carry no responsibility for basement designs in terms of waterproofing or structure in any way.
9. 'AS BUILT' drawings will only be issued upon request from the client/ contractor. All information within as built drawings is to be confirmed and provided by the client/ contractor. AAC Architecture do not perform regular site inspections to guarantee as built information so contractor or client must sign a letter from AAC to confirm compliance with our plans on site.
10. Any discrepancies between specification notes and details must be clarified for design intention with AAC before continuing with construction.
11. At Building Regulation stage our instruction is to gain a certificate of building regulations compliance from the clients chosen inspector (LA or Private alternative)
12. To ensure compliance with EWS1 fire safety forms, an independent and an appropriately qualified and insured fire consultant / engineer should be appointed by the client to ensure the finished project can be mortgaged.
13. A design and risk assessment should form part of our drawing package. If you have not received this from us by post, email or collection please contact us for a copy before moving forward with the project.
14. All planning stage planning drawings are to only to used for planning purposes.
15. All Cladding & building attachments to be at A1 fire rated.
16. We take no responsibility for the depicted site ownership boundary. Clients must notify us if they feel the our plans do not accurately depict their ownership or area of control.

Note: Any design or details relating to Fire Safety, including under Part B of the Building Regulations is shown for indicative/information purposes only and is subject to appropriate external professional input. No assumption of any responsibility is accepted.

LEGEND



FRONT SOUTH ELEVATION
SCALE 1:200



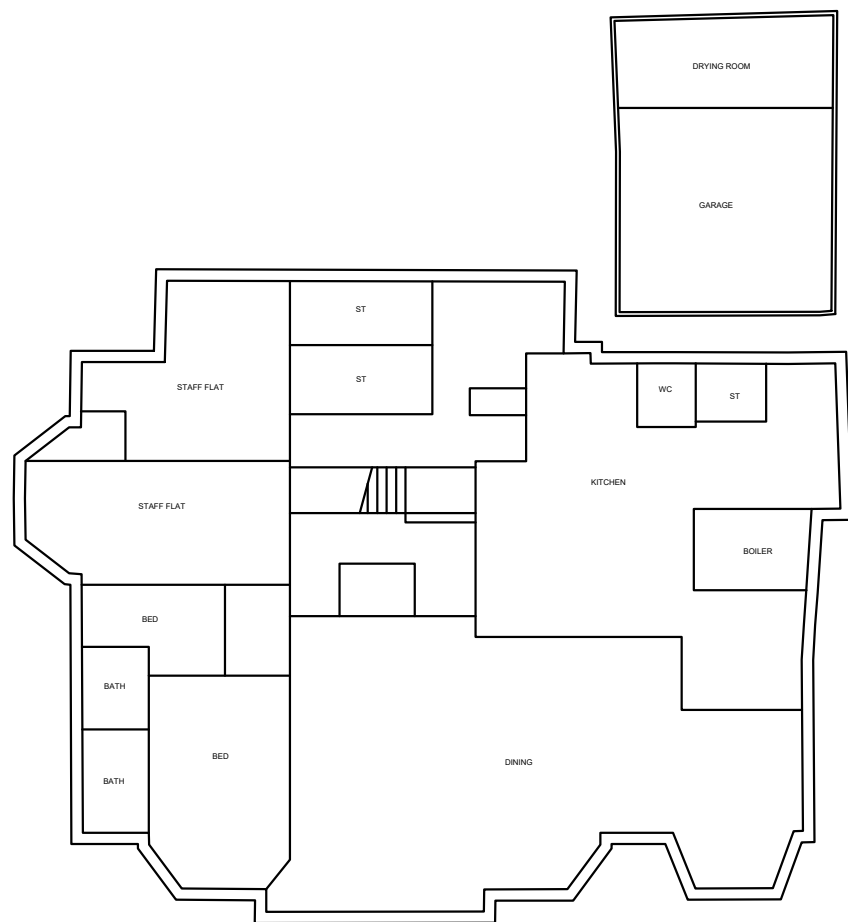
SIDE EAST ELEVATION
SCALE 1:200



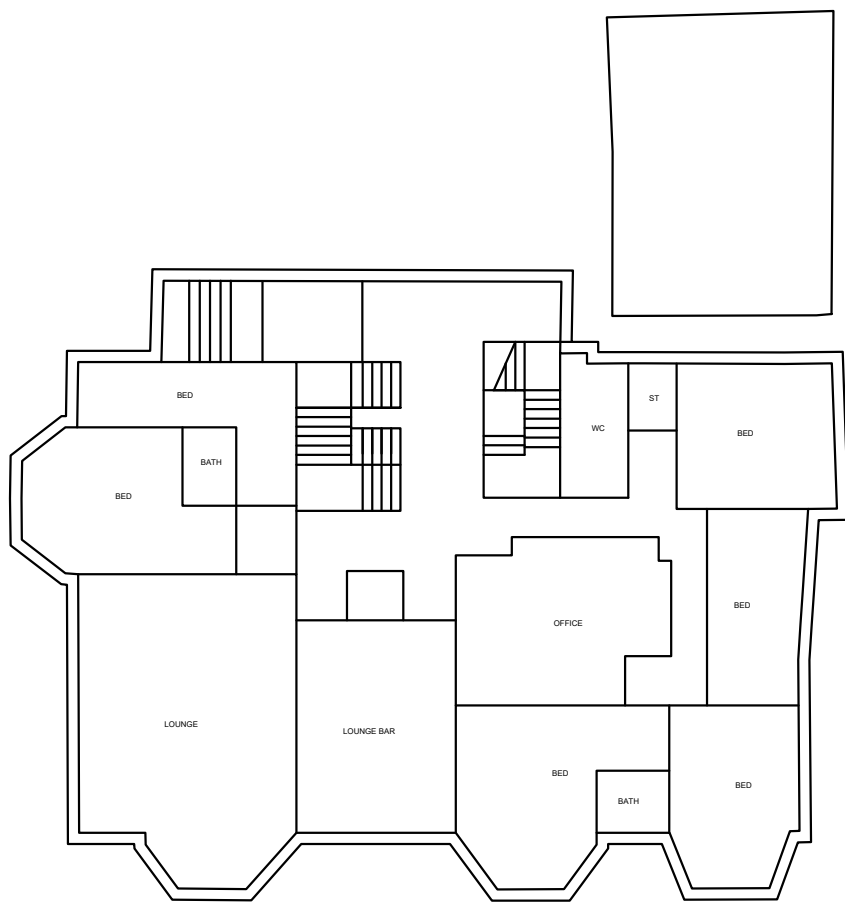
REAR NORTH ELEVATION
SCALE 1:200



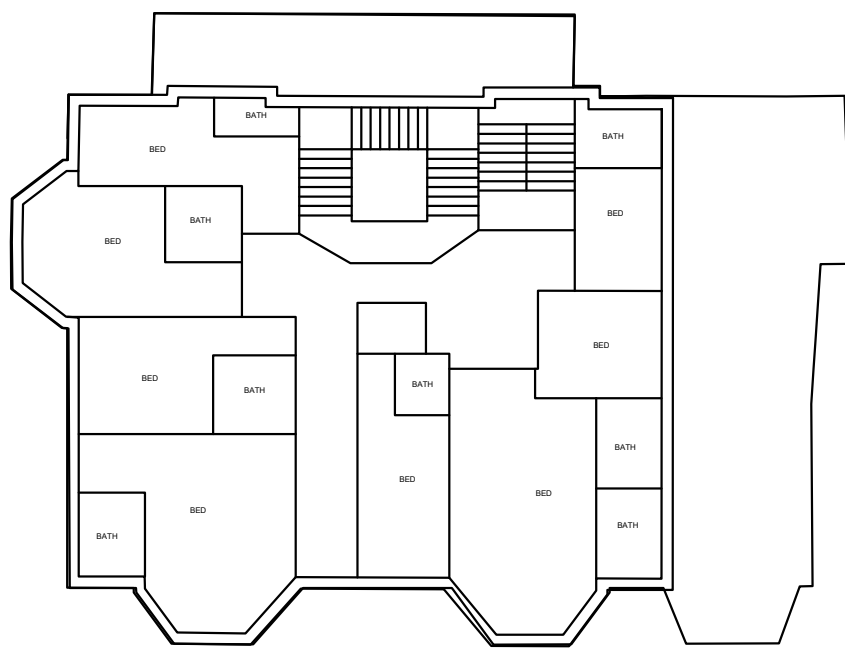
SIDE WEST ELEVATION
SCALE 1:200



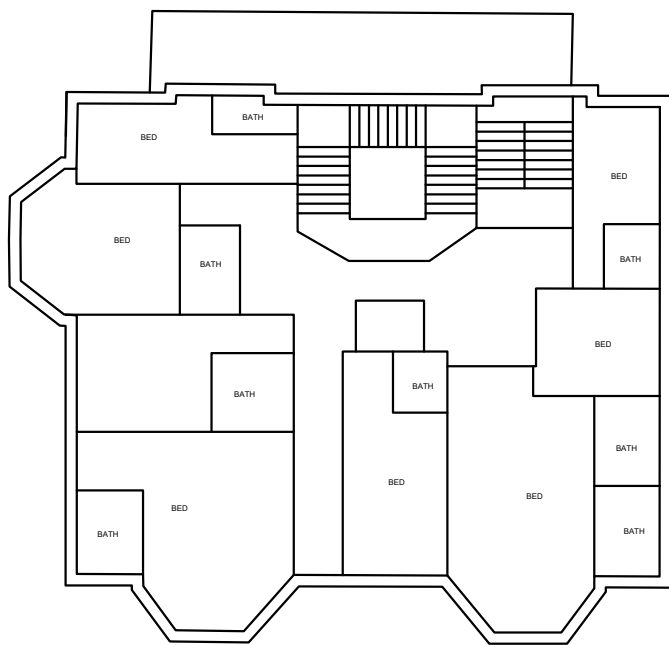
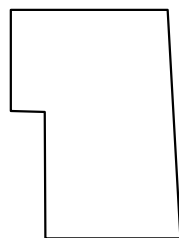
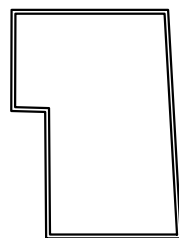
LOWER GROUND FLOOR PLAN
SCALE 1:200



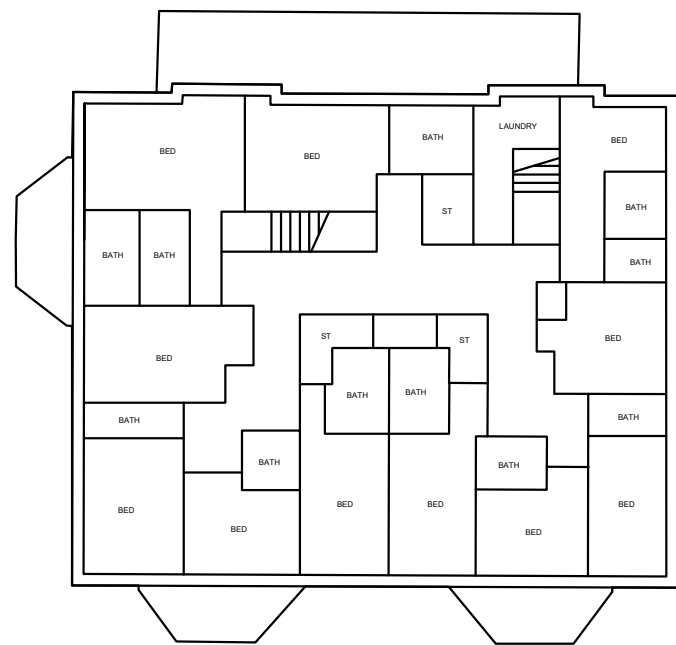
GROUND FLOOR PLAN
SCALE 1:200



FIRST FLOOR PLAN
SCALE 1:200



SECOND FLOOR PLAN
SCALE 1:200



THIRD FLOOR PLAN
SCALE 1:200

10m @ 1:100

EXISTING AREA - 1,243.5 SQM / 13,385 SQFT

No.	Revision.	date	by
-----	-----------	------	----

PROPOSED DEVELOPMENT
RIVIERA HOTEL
5 WEST CLIFF GARDENS
BOURNEMOUTH
BH2 5HL

EXISTING FLOOR PLANS & ELEVATIONS

scale	AS SHOWN @ A1	checked	
date	MAY 2019	drawn	WD

9097/208

ARC Architecture Ltd.

Chapel Studios, 14 Purewell,
Christchurch, Dorset, BH23 1EP

Tel: +44 (0) 1202 479919
E-mail: enquiries@andersrobertscheer.co.uk
Web: www.andersrobertscheer.co.uk

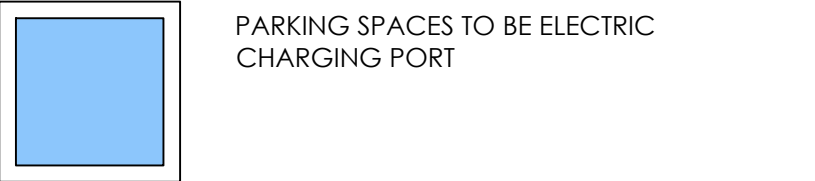


NOTES

1. The contents of this drawing are copyright.
2. Do not scale, figured dimension only to be used.
3. Contractor must verify all dimensions and report any discrepancies before putting work in hand or making any shop drawings.
4. All fall risks to be filled with a non side system to safety CDM 2015 regulations unless written confirmation from Principle Designer/ Principle Contractor is provided to show alternative compliance has been sought and approved.
5. Please note a spandrel system and mechanical smoke extraction may be required in all or some areas of the building i.e. basement car parks - Qualified fire consultant to confirm as part of fire safety report - to be indicated by client or contractor to cover all aspects of fire safety / Part B
6. Fixed shut fire safety glass windows may be required where windows are in close proximity to boundaries (subject to building regulations)
7. Stair design to be independently checked by stair fabricator for reg. compliance and staging, prior to construction/ ordering. Dimensions to be checked before fabrication.
8. Make/tenor waterproofing specialists (or similar company with relevant PI insurance) to be instructed and detail of basement waterproofing designs - ARC carry no responsibility for basement designs in terms of waterproofing or structure in any way.
9. 'AS BUILT' drawings will only be issued upon request from the client/ contractor. All information within as built drawings is to be confirmed and provided by the client/ contractor. ARC Architecture do not perform regular site inspections to guarantee as built information so contractor or client must sign a letter from ARC to confirm compliance with our plans on site.
10. Any discrepancies between specification notes and details must be clarified for design intention with ARC before continuing with construction.
11. At Building Regulation stage our instruction is to gain a certificate of building regulations compliance from the clients chosen inspector (LA or Private alternative)
12. To ensure compliance with EWS1 fire safety forms, an independent and an appropriately qualified and insured fire consultant/ engineer should be appointed by the client to ensure the finished project can be mortgaged.
13. A design and risk assessment should form part of our drawing package. If you have not received this from us by post, email or collection please contact us for a copy before moving forward with the project.
14. All planning stage planning drawings are to only be used for planning purposes.
15. All Cladding & building attachments to be all A1 fire rated.
16. We take no responsibility for the depicted site ownership boundary. Clients must notify us if they feel the our plans do not accurately depict their ownership or area of control.

Note: Any design or details relating to Fire Safety, including under Part B of the Building Regulations is shown for indicative/information purposes only and is subject to appropriate external professional input. No assumption of any responsibility is accepted.

LEGEND



SCHEDULE OF ACCOMMODATION			
UNIT NO.	BEDS	SQM	SQFT
1	2	76.6	824
2	2	76.4	822
3	2	76.6	824
4	2	76.6	824
5	2	76.4	822
6	2	76.6	824
7	2	76.6	824
8	2	76.4	822
9	2	76.6	824
10	2	76.6	824
11	2	76.4	822
12	2	76.6	824
13	3	90.8	977
14	3	90.9	978
TOTAL AREA		1,100.1	11,841

- C. Bay windows amended, basement entrance added to elevations, cycle ramp added to escape stairs for cycles, ramp moved 5m from footpath & parking spaces for electric cars highlighted. 13.07.21 WD
- B. Further reductions to scheme following comments. 01.07.21 WD
- A. Scheme reduced following comments. 14.06.21 WD

No.	Revision.	date	by
-----	-----------	------	----

PROPOSED DEVELOPMENT
RIVIERA HOTEL
5 WEST CLIFF GARDENS
BOURNEMOUTH
BH2 5HL

FLOOR PLANS 1 OF 3

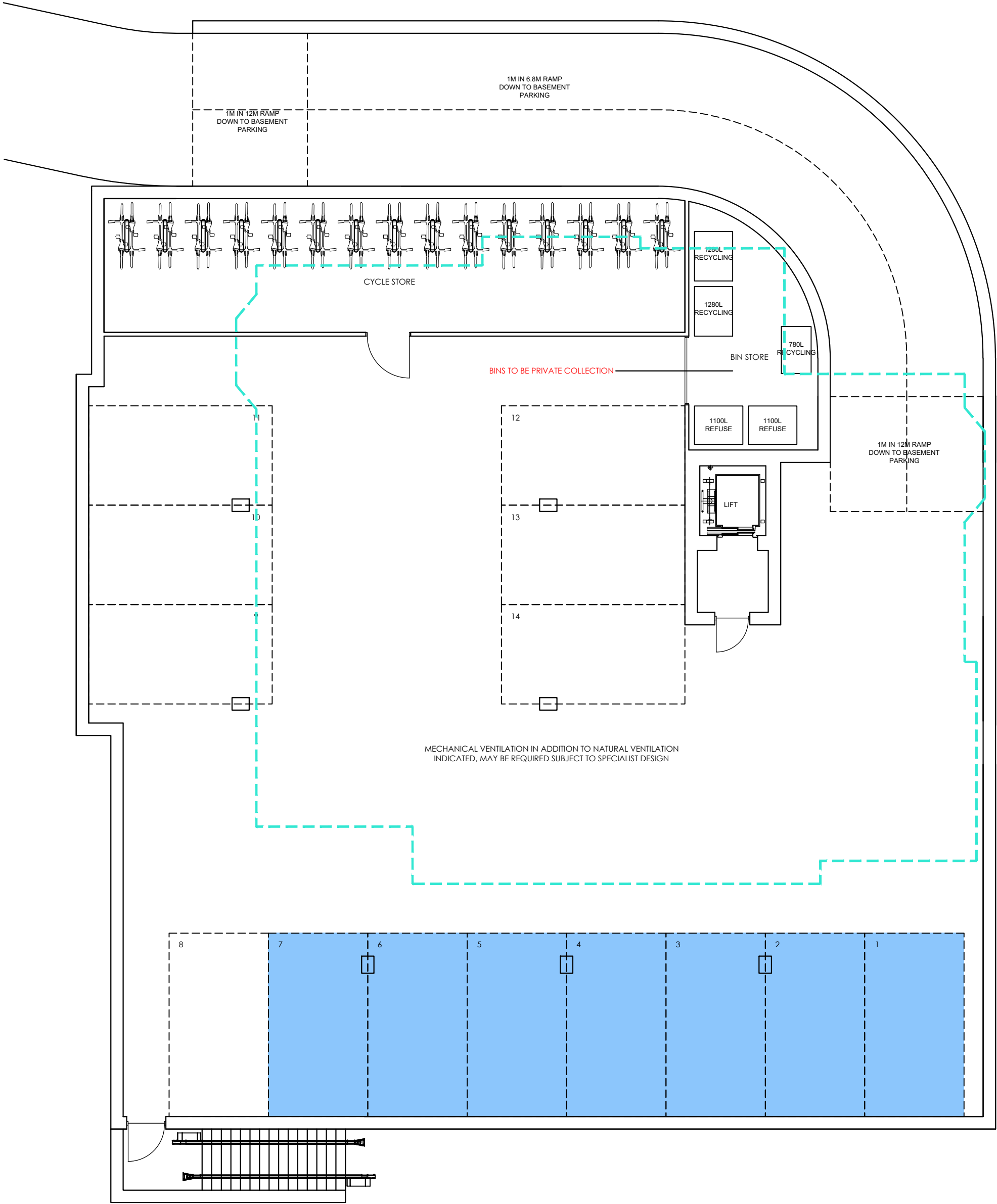
scale	AS SHOWN @ A1	checked	//
date	FEBRUARY 2021	drawn	WD
		A.	B.
		C.	

9097/301

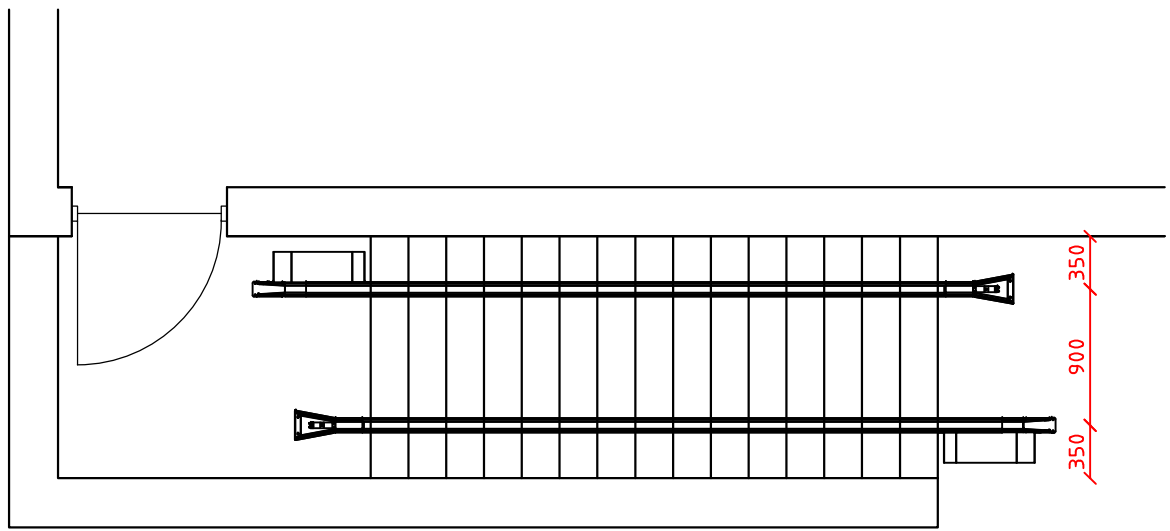
ARC Architecture Ltd.

Chapel Studios, 14 Purewell,
Christchurch, Dorset, BH23 1EP

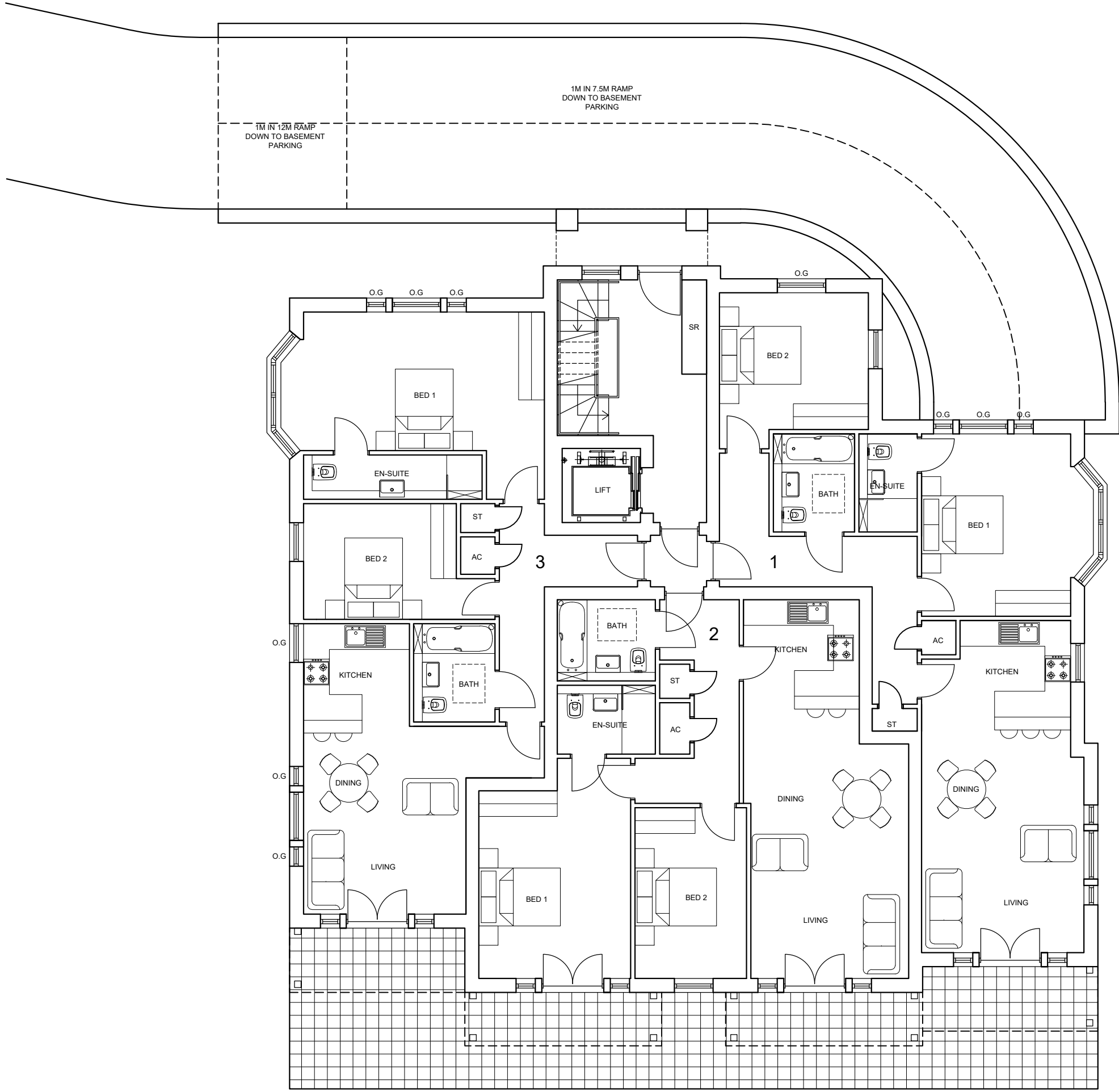
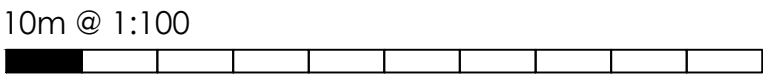
Tel: +44 (0)1202 479919
E-mail: enquiries@andersrobertscheer.co.uk
Web: www.andersrobertscheer.co.uk



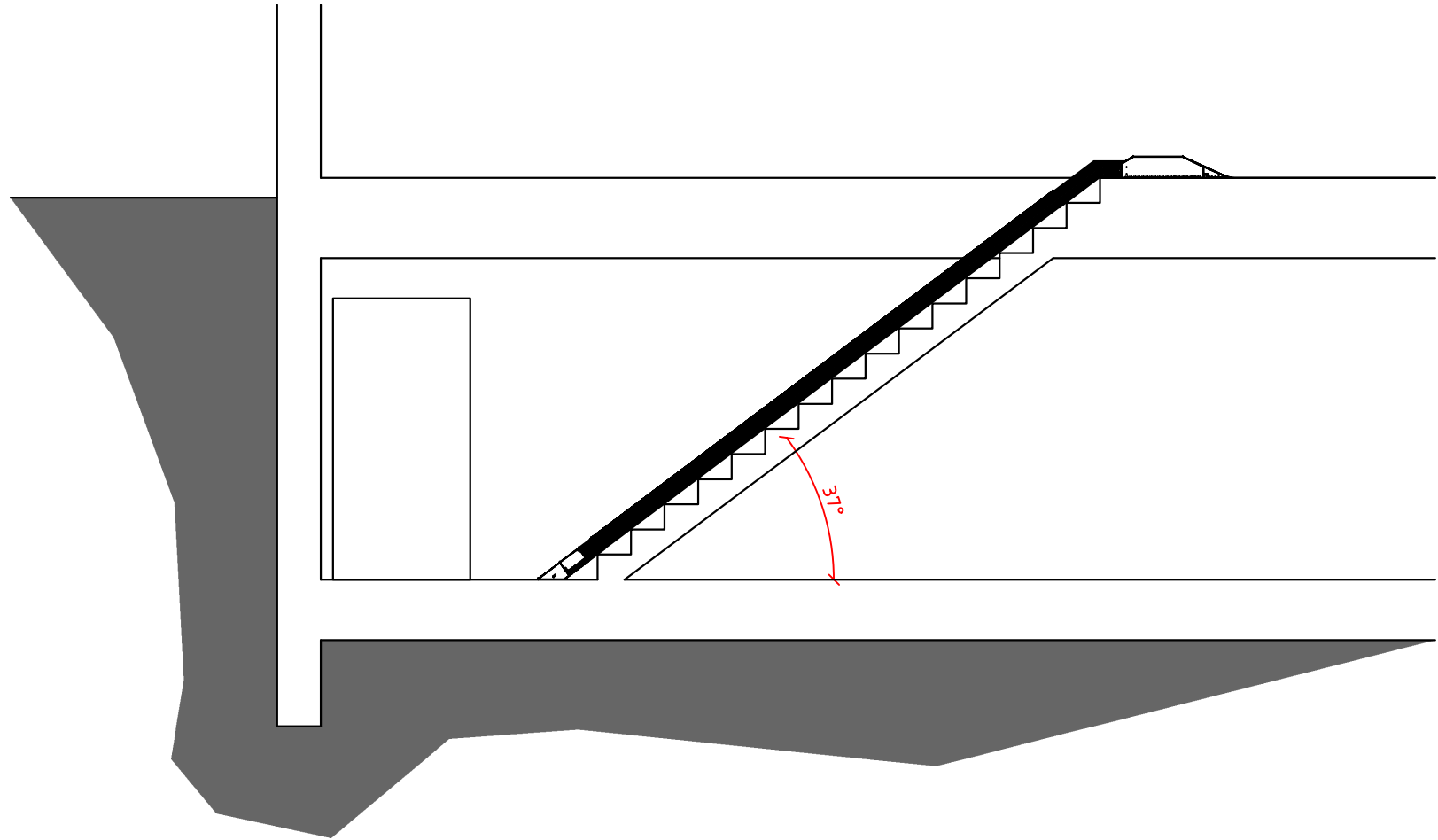
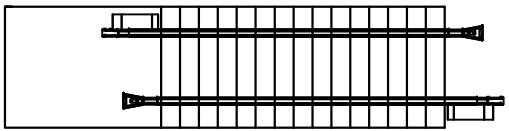
BASEMENT FLOOR PLAN
SCALE 1:100



CYCLE RAMP PLAN
SCALE 1:50



GROUND FLOOR PLAN
SCALE 1:100



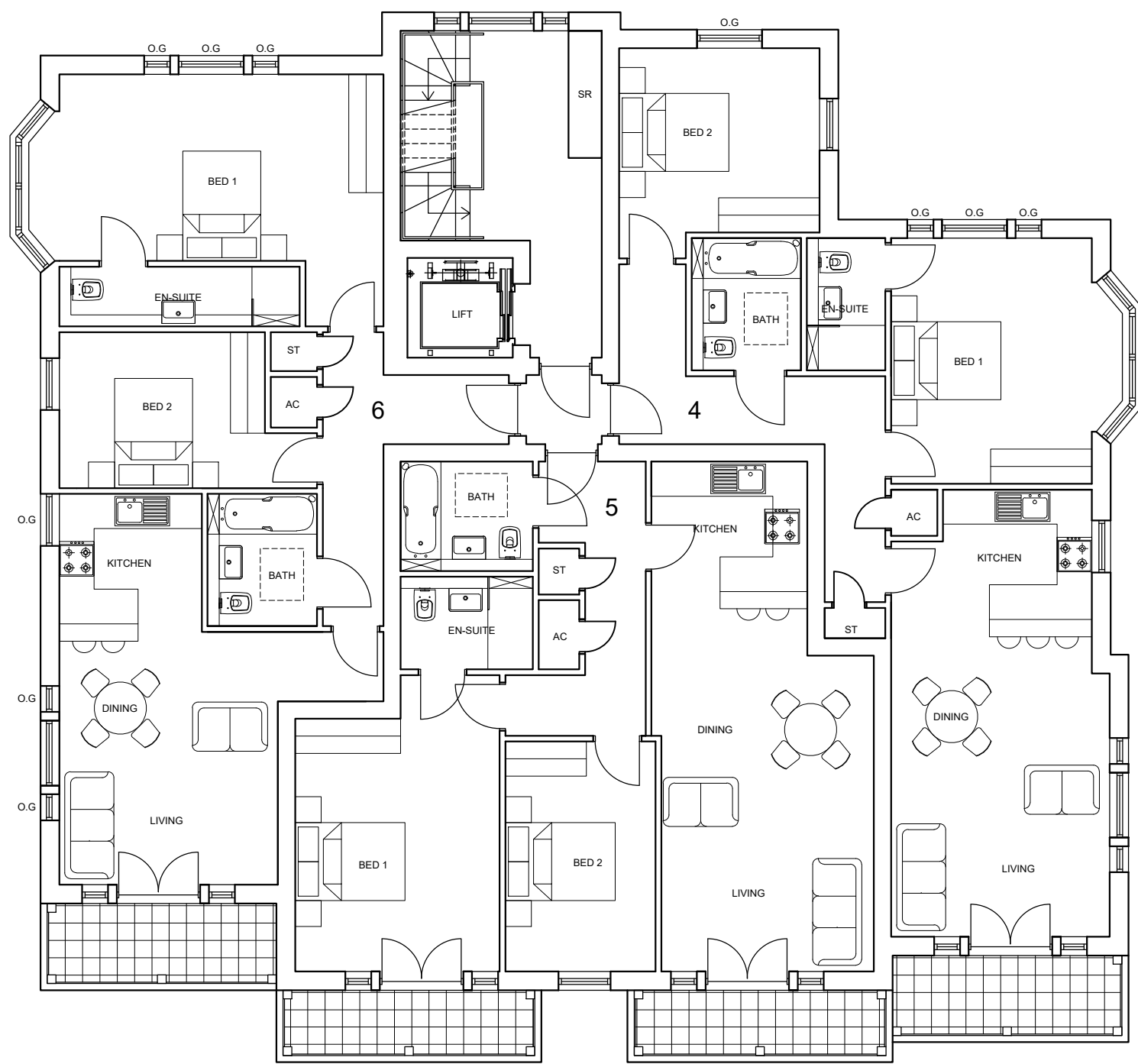
CYCLE RAMP SECTION
SCALE 1:50

<https://www.falco.co.uk/products/cycle-parking/advanced-cycle-products/velocomfort%C2%AE-automated-cycle-wheel-ramp.html>

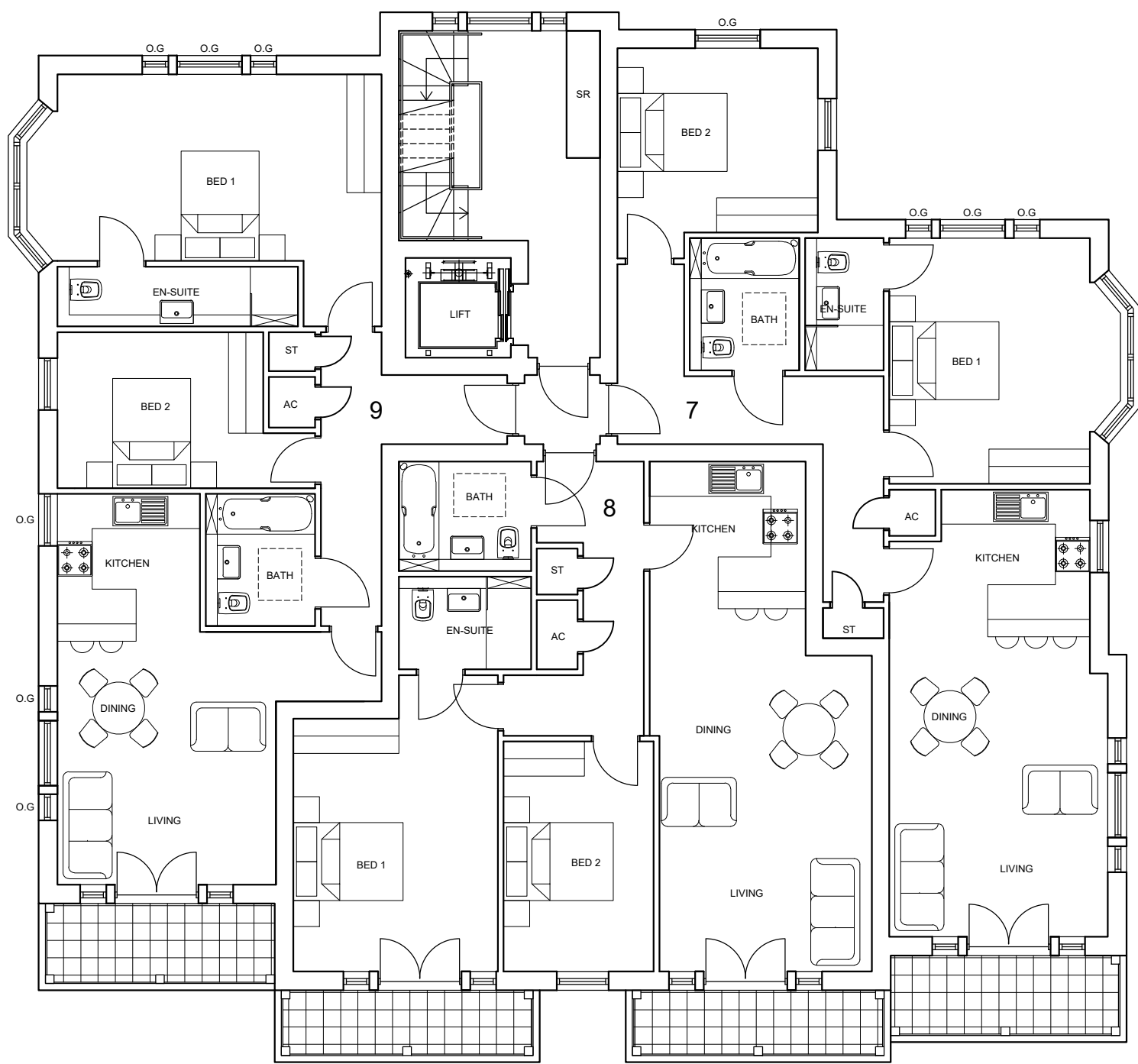
1. The contents of this drawing are copyright.
2. Do not scale. Figured dimensions only to be used.
3. Contractors must verify all dimensions and report any discrepancies before putting work in hand or making any shop drawings.
4. All floor roods to be fitted with a man safe system to satisfy CDM 2015 regulations unless written confirmation from Principle Designer/ Principle Contractor is provided to show alternative compliance has been sought and approved.
5. Please note a sprinkler system and mechanical smoke extraction may be required in all or some areas of the building inc. basement car parks. Qualified fire consultant to confirm as part of fire safety report - to be instructed by client or contractor to cover all aspects of the Safety / Part 8
6. Fixed shut fire safety glass windows may be required where windows are in close proximity to boundaries (subject to building regulations).
7. Stair design to be independently checked by stair fabricator for regs. compliance and siting, prior to construction/ ordering. Dimensions to be checked before fabrication.
8. Maclellan waterproofing specialists (or similar company with relevant PI insurance) to be instructed and detail all basement waterproofing designs. - ARC carry no responsibility for basement designs in terms of waterproofing or structure in any way.
9. "AS BUILT" drawings will only be issued upon request from the client/ contractor. All information within as built drawings is to be confirmed and provided by the client/ contractor. ARC Architecture do not perform regular site inspections to guarantee as built information so contractor or client must sign a letter from ARC to confirm compliance with our plans on site.
10. Any discrepancies between specification notes and details must be clarified for design intention with ARC before continuing with construction.
11. At Building Regulation stage our instruction is to gain a certificate of building regulations compliance from the clients chosen inspector (A or Private alternative)
12. To ensure compliance with EWS1 fire safety forms, an independent and an appropriately qualified and insured fire consultant / engineer should be appointed by the client to ensure the finished project can be mortgaged.
13. A design and risk assessment should form part of our drawing package. If you have not received this from us by post, email or collection please contact us for a copy before moving forward with the project.
14. At planning stage planning drawings are to only be used for planning purposes.
15. All Cladding & building attachments to be at A1 fire rated.
16. We take no responsibility for the depicted site ownership boundary. Clients must notify us if they feel the our plans do not accurately depict their ownership or area of control.

Note: Any design or details relating to Fire Safety, including under Part B of the Building Regulations is shown for indicative/information purposes only and is subject to appropriate external professional input. No assumption of any responsibility is accepted.

LEGEND



FIRST FLOOR PLAN
SCALE 1:100



SECOND FLOOR PLAN
SCALE 1:100

SCHEDULE OF ACCOMMODATION			
UNIT NO.	BEDS	SQM	SQFT
1	2	76.6	824
2	2	76.4	822
3	2	76.6	824
4	2	76.6	824
5	2	76.4	822
6	2	76.6	824
7	2	76.6	824
8	2	76.4	822
9	2	76.6	824
10	2	76.6	824
11	2	76.4	822
12	2	76.6	824
13	3	90.8	977
14	3	90.9	978
TOTAL AREA		1,100.1	11,841

- C. Bay windows amended, basement entrance added to elevations, cycle ramp added to escape stairs for cycles, ramp moved 5m from footpath & parking spaces for electric cars highlighted. 13.07.21 WD
- B. Further reductions to scheme following comments. 01.07.21 WD
- A. Scheme reduced following coments. 14.06.21 WD

No.	Revision.	date	by
-----	-----------	------	----

PROPOSED DEVELOPMENT
RIVIERA HOTEL
5 WEST CLIFF GARDENS
BOURNEMOUTH
BH2 5HL

FLOOR PLANS 2 OF 3

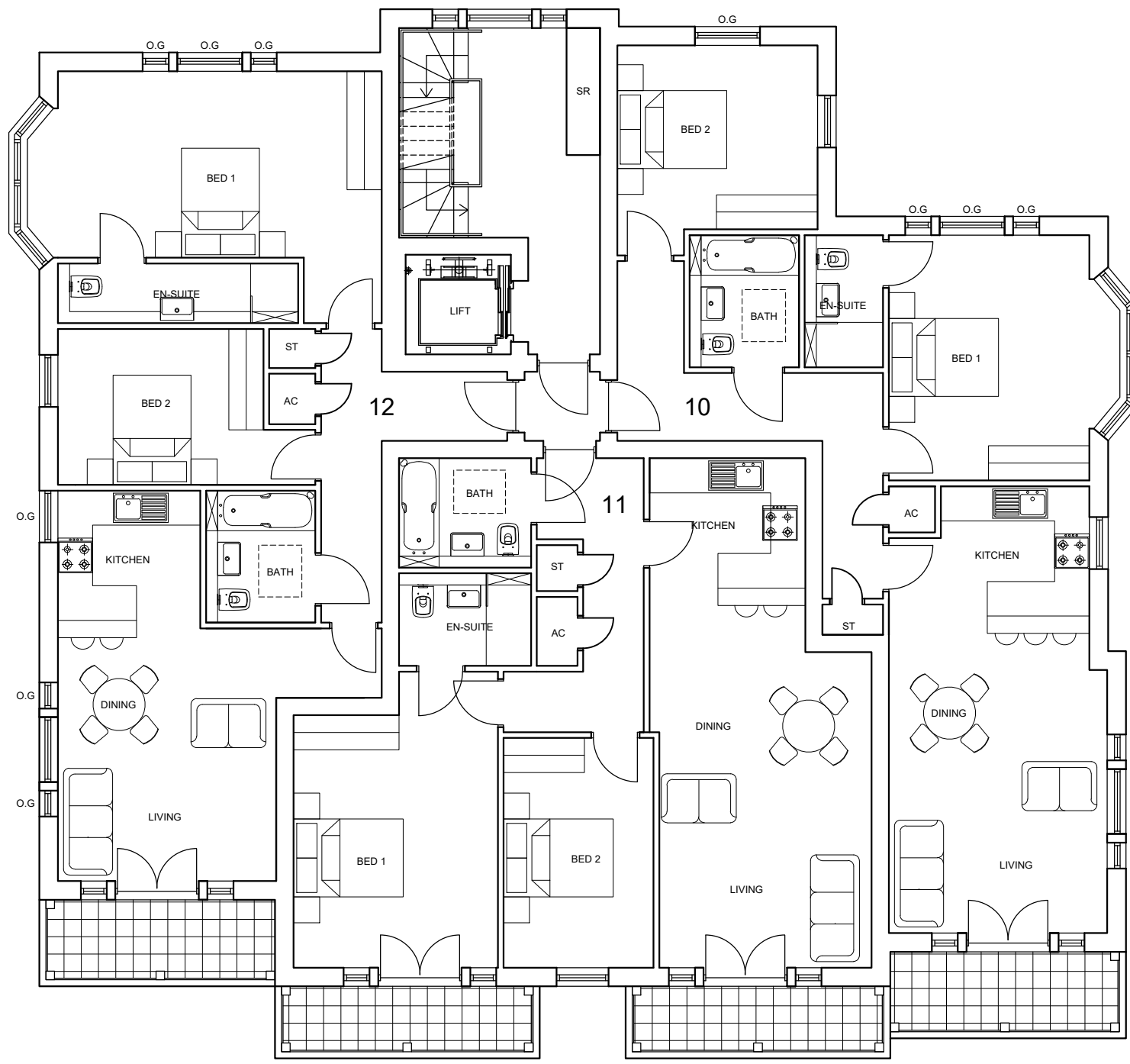
scale	AS SHOWN @ A1	checked	//
date	FEBRUARY 2021	drawn	WD
9097/302		A.	B.
		C.	

ARC Architecture Ltd.

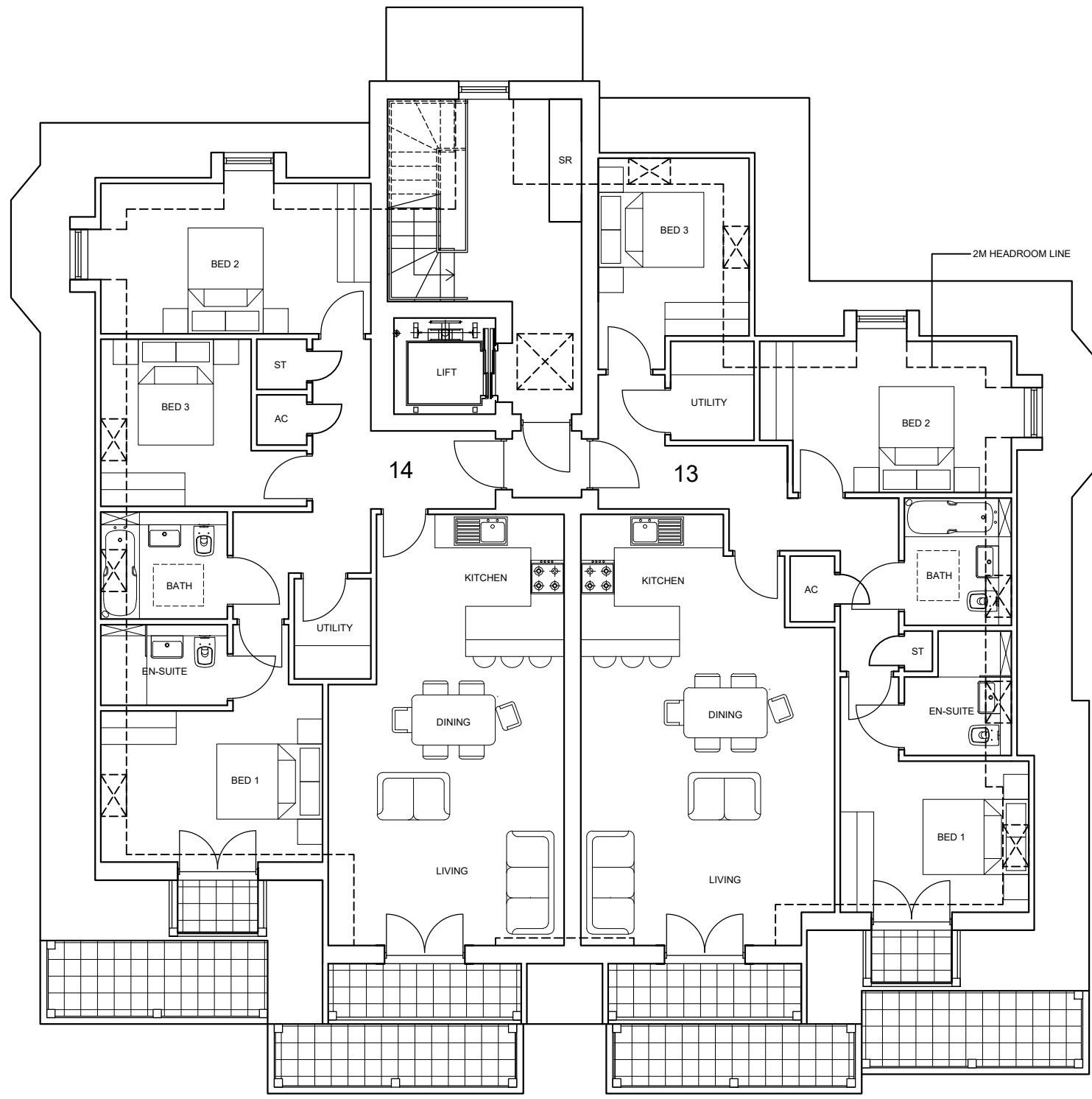
Chapel Studios, 14 Purewell,
Christchurch, Dorset, BH23 1EP

Tel: +44 (0) 1202 479919
E-mail: enquiries@andersrobertscheer.co.uk
Web: www.andersrobertscheer.co.uk

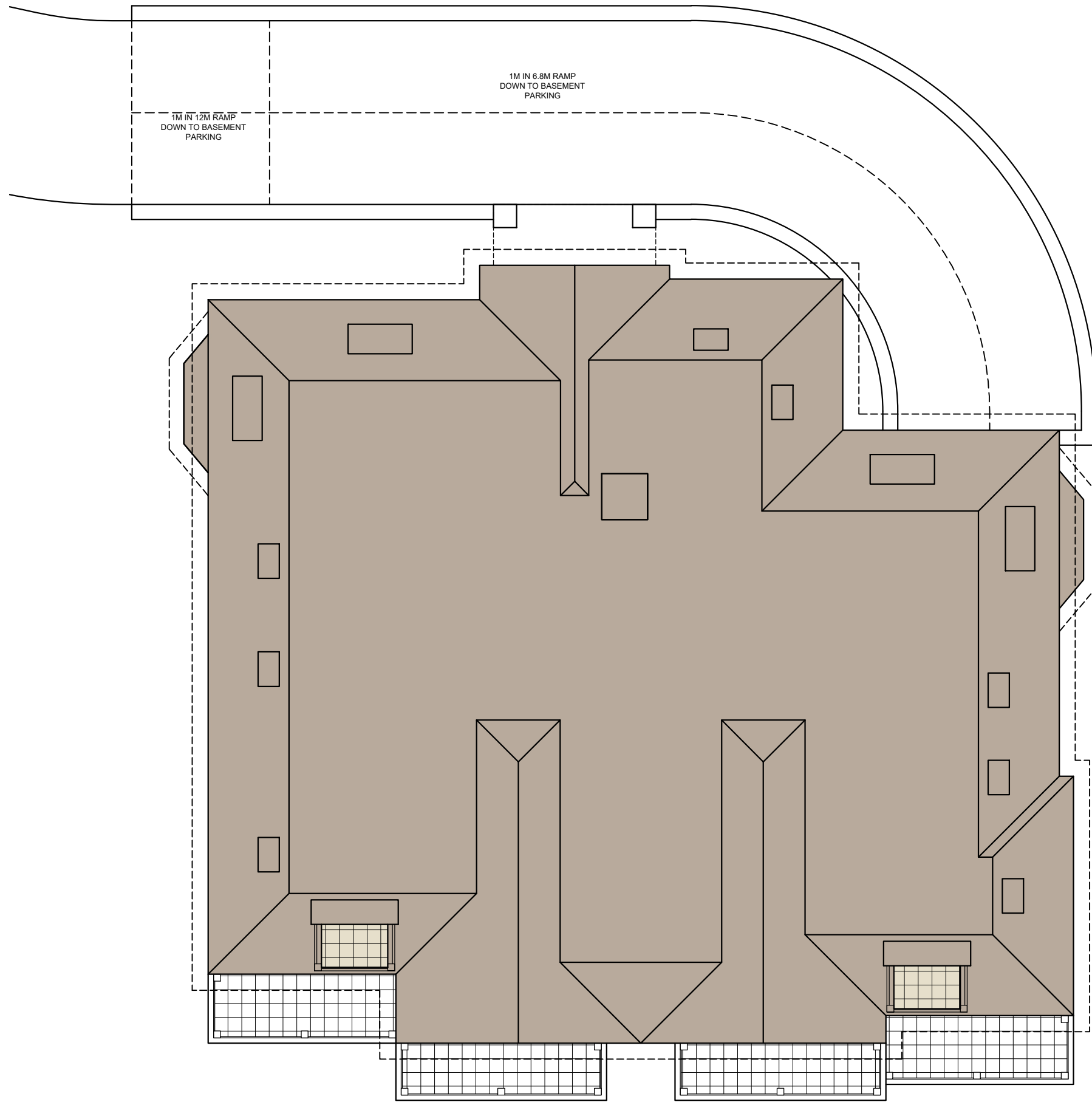




THIRD FLOOR PLAN
SCALE 1:100



UPPER FLOOR PLAN
SCALE 1:100



ROOF PLAN
SCALE 1:100

1. The contents of this drawing are copyright.
2. Do not scale. Figured dimensions only to be used.
3. Contractors must verify all dimensions and report any discrepancies before putting work in hand or making any shop drawings.
4. All flat roofs to be fitted with a man safe system to satisfy CDM 2015 regulations unless written confirmation from Principle Designer/ Principle Contractor is provided to show alternative compliance has been sought and approved.
5. Please note a sprinkler system and mechanical smoke extraction may be required in all or some areas of the building inc. basement car parks. Qualified fire consultant to confirm as part of fire safety report - to be instructed by client or contractor to cover all aspects of the Safety / Part 8.
6. Fixed shut fire safety glass windows may be required where windows are in close proximity to boundaries (subject to building regulations).
7. Shop design to be independently checked by stat fabricator for regs. compliance and siting, prior to construction/ ordering. Dimensions to be checked before fabrication.
8. Maclellan waterproofing specialists (or similar company with relevant PI insurance) to be instructed and detail all basement waterproofing designs. - ARC carry no responsibility for basement designs in terms of waterproofing or structure in any way.
9. "AS BUILT" drawings will only be issued upon request from the client/ contractor. All information within as built drawings is to be confirmed and provided by the client/ contractor. ARC Architecture do not perform regular site inspections to guarantee as built information so contractor or client must sign a letter from ARC to confirm compliance with our plans on site.
10. Any discrepancies between specification notes and details must be clarified for design intention with ARC before continuing with construction.
11. At Building Regulation stage our instruction is to gain a certificate of building regulations compliance from the clients chosen inspector (LA or Private alternative).
12. To ensure compliance with EW51 fire safety forms, an independent and an appropriately qualified and insured fire consultant / engineer should be appointed by the client to ensure the finished project can be mortgaged.
13. A design and risk assessment should form part of our drawing package. If you have not received this from us by post, email or collection please contact us for a copy before moving forward with the project.
14. All planning stage planning drawings are to only to used for planning purposes.
15. All Cladding & building attachments to be at A1 fire rated.
16. We take no responsibility for the depicted site ownership boundary. Clients must notify us if they feel the our plans do not accurately depict their ownership or area of control.

Note: Any design or details relating to Fire Safety, including under Part B of the Building Regulations is shown for indicative/information purposes only and is subject to appropriate external professional input. No assumption of any responsibility is accepted.

LEGEND

SCHEDULE OF ACCOMMODATION

UNIT NO.	BEDS	SQM	SQFT
1	2	76.6	824
2	2	76.4	822
3	2	76.6	824
4	2	76.6	824
5	2	76.4	822
6	2	76.6	824
7	2	76.6	824
8	2	76.4	822
9	2	76.6	824
10	2	76.6	824
11	2	76.4	822
12	2	76.6	824
13	3	90.8	977
14	3	90.9	978
TOTAL AREA		1,100.1	11,841

- C. Bay windows amended, basement entrance added to elevations, cycle ramp added to escape stairs for cycles, ramp moved 5m from footpath & parking spaces for electric cars highlighted. 13.07.21 WD
- B. Further reductions to scheme following comments. 01.07.21 WD
- A. Scheme reduced following coments. 14.06.21 WD

No.	Revision.	date	by
-----	-----------	------	----

PROPOSED DEVELOPMENT
RIVIERA HOTEL
5 WEST CLIFF GARDENS
BOURNEMOUTH
BH2 5HL

FLOOR PLANS 3 OF 3

scale	AS SHOWN @ A1	checked	//
date	FEBRUARY 2021	drawn	WD
9097/303		A.	B.
		C.	

ARC Architecture Ltd.

Chapel Studios, 14 Purewell,
Christchurch, Dorset, BH23 1EP

Tel: +44 (0) 1202 479919
E-mail: enquiries@andersrobertscheer.co.uk
Web: www.andersrobertscheer.co.uk

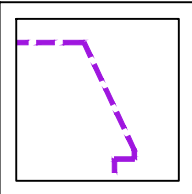


NOTES

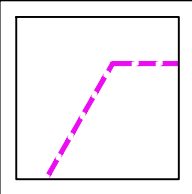
1. The contents of this drawing are copyright.
2. Do not scale, figured dimension only to be used.
3. Contractor must verify all dimensions and report any discrepancies before putting work in hand or making any shop drawings.
4. All lift roads to be fitted with a man safe system to safety CDM 2015 regulations unless written confirmation from Principle Designer/ Principle Contractor is provided to show alternative compliance has been sought and approved.
5. Please note a sprinkler system and mechanical smoke extraction may be required in all or some areas of the building i.e. basement car parks - Qualified fire consultant to confirm as part of fire safety report - to be instructed by client or contractor to cover all aspects of Fire Safety / Part B
6. Fixed shut fire safety glass windows may be required where windows are in close proximity to boundaries (subject to building regulations)
7. Stair design to be independently checked by stair fabricator for reg. compliance and sizing, prior to construction/ ordering. Dimensions to be checked before fabrication.
8. MacIntosh waterproofing specialists (or similar company with relevant PI insurance) to be instructed and detail of basement waterproofing designs - ARC carry no responsibility for basement designs in terms of waterproofing or structure in any way.
9. "AS BUILT" drawings will only be issued upon request from the client/ contractor. All information within as built drawings is to be confirmed and provided by the client/ contractor. ARC Architecture do not perform regular site inspections to guarantee as built information to contractor or client must sign a letter from ARC to confirm compliance with our plans on site.
10. Any discrepancies between specification notes and details must be clarified for design intention with ARC before continuing with construction.
11. At Building Regulation stage our instruction is to gain a certificate of building regulations compliance from the clients chosen inspector (LA or Private alternative)
12. To ensure compliance with EWS1 fire safety forms, an independent and an appropriately qualified and insured fire consultant / engineer should be appointed by the client to ensure the finished project can be mortgaged.
13. A design and risk assessment should form part of our drawing package. If you have not received this from us by post, email or collection please contact us for a copy before moving forward with the project.
14. All planning stage planning drawings are to only be used for planning purposes.
15. All Cladding & building attachments to be all A1 fire rated.
16. We take no responsibility for the depicted site ownership boundary. Clients must notify us if they feel the our plans do not accurately depict their ownership or area of control.

Note: Any design or details relating to Fire Safety, including under Part B of the Building Regulations is shown for indicative/information purposes only and is subject to appropriate external professional input. No assumption of any responsibility is accepted.

LEGEND



EXISTING TO BE DEMOLISHED



OUTLINE OF REFUSED APPLICATION



REAR SOUTH ELEVATION
SCALE 1:100



SIDE EAST ELEVATION
SCALE 1:100

C.	Bay windows amended, basement entrance added to elevations, cycle ramp added to escape stairs for cycles, ramp moved 5m from footpath & parking spaces for electric cars highlighted.	13.07.21	WD
B.	Further reductions to scheme following comments.	01.07.21	WD
A.	Scheme reduced following coments.	14.06.21	WD

No.	Revision.	date	by
-----	-----------	------	----

PROPOSED DEVELOPMENT
RIVIERA HOTEL
5 WEST CLIFF GARDENS
BOURNEMOUTH
BH2 5HL

ELEVATIONS 1 OF 2

scale	AS SHOWN @ A1	checked	//
date	FEBRUARY 2021	drawn	WD
		A.	B.
		C.	

9097/304

ARC Architecture Ltd.

Chapel Studios, 14 Purewell,
Christchurch, Dorset, BH23 1EP

Tel: +44 (0)1202 479919
E-mail: enquiries@andersrobertscheer.co.uk
Web: www.andersrobertscheer.co.uk

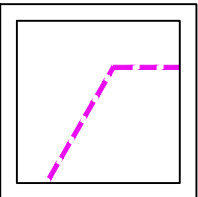


NOTES

1. The contents of this drawing are copyright.
2. Do not scale, figured dimensions only to be used.
3. Contractors must verify all dimensions and report any discrepancies before putting work in hand or making any shop drawings.
4. All flat roofs to be fitted with a man safe system to satisfy CDM 2015 regulations unless written confirmation from Principle Designer/ Principle Contractor is provided to show alternative compliance has been sought and approved.
5. Please note a sprinkler system and mechanical smoke extraction may be required in all or some areas of the building inc. basement car parks - Qualified fire consultant to confirm as part of fire safety report - to be instructed by client or contractor to cover all aspects of Fire Safety / Part B.
6. Fixed shut fire safety glass windows may be required where windows are in close proximity to boundaries (subject to building regulations).
7. Stair design to be independently checked by stair fabricator for regs. compliance and staging, prior to construction/ ordering. Dimensions to be checked before fabrication.
8. Macalennan waterproofing specialists (or similar company with relevant PI insurance) to be instructed and detail all basement waterproofing designs. - ARC carry no responsibility for basement designs in terms of waterproofing or structure in any way.
9. "AS BUILT" drawings will only be issued upon request from the client/ contractor. All information within as built drawings is to be confirmed and provided by the client/ contractor. ARC Architecture do not perform regular site inspections to guarantee as built information so contractor or client must sign a letter from ARC to confirm compliance with our plans on site.
10. Any discrepancies between specification notes and details must be clarified for design intention with ARC before continuing with construction.
11. At Building Regulation stage our instruction is to gain a certificate of building regulations compliance from the clients chosen inspector (LA or Private alternative).
12. To ensure compliance with EWS1 fire safety forms, an independent and an appropriately qualified and insured fire consultant/ engineer should be appointed by the client to ensure the finished project can be mortgaged.
13. A design and risk assessment should form part of our drawing package. If you have not received this from us by post, email or collection please contact us for a copy before moving forward with the project.
14. At planning stage planning drawings are to only to be used for planning purposes.
15. All Cladding & building attachments to be all A1 fire rated.
16. We take no responsibility for the depicted site ownership boundary. Clients must notify us if they feel the our plans do not accurately depict their ownership or area of control.

Note: Any design or details relating to Fire Safety, including under Part B of the Building Regulations is shown for indicative/information purposes only and is subject to appropriate external professional input. No assumption of any responsibility is accepted.

LEGEND



OUTLINE OF REFUSED APPLICATION



FRONT NORTH ELEVATION
SCALE 1:100



SIDE WEST ELEVATION
SCALE 1:100

C.	Bay windows amended, basement entrance added to elevations, cycle ramp added to escape stairs for cycles, ramp moved 5m from footpath & parking spaces for electric cars highlighted.	13.07.21	WD
B.	Further reductions to scheme following comments.	01.07.21	WD
A.	Scheme reduced following coments.	14.06.21	WD

No.	Revision.	date	by
-----	-----------	------	----

PROPOSED DEVELOPMENT
RIVIERA HOTEL
5 WEST CLIFF GARDENS
BOURNEMOUTH
BH2 5HL

ELEVATIONS 2 OF 2

scale	AS SHOWN @ A1	checked	//
date	FEBRUARY 2021	drawn	WD
9097/305		A.	B.
		C.	

ARC Architecture Ltd.

Chapel Studios, 14 Purewell,
Christchurch, Dorset, BH23 1EP

Tel: +44 (0)1202 479919
E-mail: enquiries@andersrobertscheer.co.uk
Web: www.andersrobertscheer.co.uk

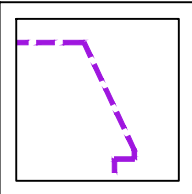


NOTES

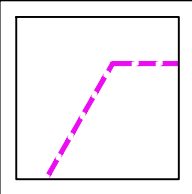
1. The contents of this drawing are copyright.
2. Do not scale, figured dimensions only to be used.
3. Contractor must verify all dimensions and report any discrepancies before putting work in hand or making any shop drawings.
4. All lift roads to be fitted with a man safe system to safety CDM 2015 regulations unless written confirmation from Principle Designer/ Principle Contractor is provided to show alternative compliance has been sought and approved.
5. Please note a sprinkler system and mechanical smoke extraction may be required in all or some areas of the building i.e. basement car parks - Qualified fire consultant to confirm as part of fire safety report - to be instructed by client or contractor to cover all aspects of Fire Safety / Part B
6. Fixed shut fire safety glass windows may be required where windows are in close proximity to boundaries (subject to building regulations)
7. Stair design to be independently checked by stair fabricator for reg. compliance and staging, prior to construction/ ordering. Dimensions to be checked before fabrication.
8. Mechanical waterproofing specialists (or similar company with relevant PI insurance) to be instructed and detail of basement waterproofing designs - ARC carry no responsibility for basement designs in terms of waterproofing or structure in any way.
9. 'AS BUILT' drawings will only be issued upon request from the client/ contractor. ARC Architecture do not perform regular site inspections to guarantee as built information to contractor or client must sign a letter from ARC to confirm compliance with our plans on site.
10. Any discrepancies between specification notes and details must be clarified for design intention with ARC before continuing with construction.
11. At Building Regulation stage our instruction is to gain a certificate of building regulations compliance from the clients chosen inspector (LA or Private alternative)
12. To ensure compliance with EWS1 fire safety forms, an independent and an appropriately qualified and insured fire consultant / engineer should be appointed by the client to ensure the finished project can be mortgaged.
13. A design and risk assessment should form part of our drawing package. If you have not received this from us by post, email or collection please contact us for a copy before moving forward with the project.
14. All planning stage planning drawings are to only be used for planning purposes.
15. All Cladding & building attachments to be all A1 fire rated.
16. We take no responsibility for the depicted site ownership boundary. Clients must notify us if they feel the our plans do not accurately depict their ownership or area of control.

Note: Any design or details relating to Fire Safety, including under Part B of the Building Regulations is shown for indicative/information purposes only and is subject to appropriate external professional input. No assumption of any responsibility is accepted.

LEGEND



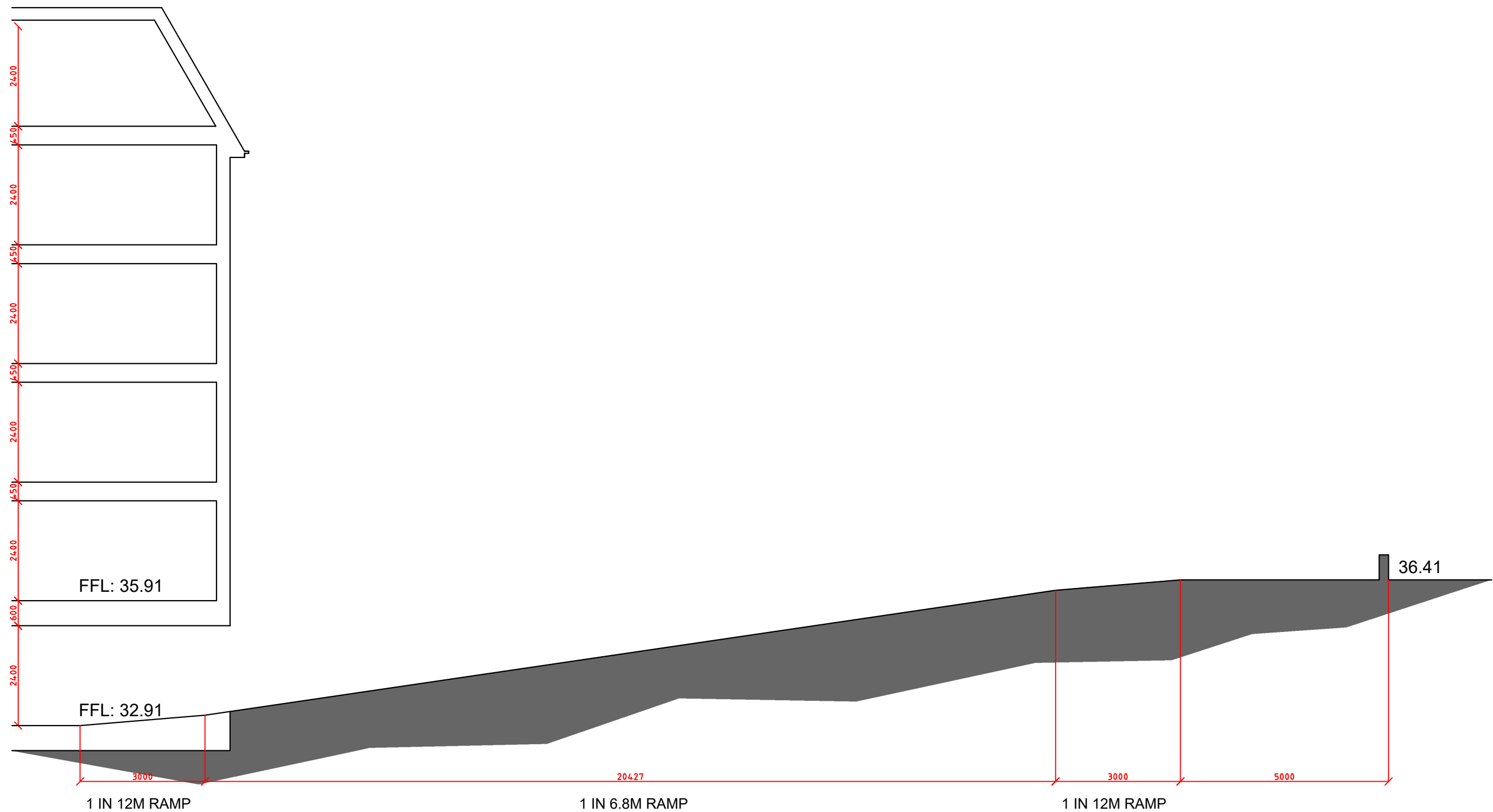
EXISTING TO BE DEMOLISHED



OUTLINE OF REFUSED APPLICATION



STREET SCENE: (FOR INDICATIVE PURPOSES ONLY)
SCALE 1:100



SITE SECTION:
SCALE 1:100

- C. Bay windows amended, basement entrance added to elevations, cycle ramp added to escape stairs for cycles, ramp moved 5m from footpath & parking spaces for electric cars highlighted. 13.07.21 WD
- B. Further reductions to scheme following comments. 01.07.21 WD
- A. Scheme reduced following coments. 14.06.21 WD

No.	Revision.	date	by
-----	-----------	------	----

PROPOSED DEVELOPMENT
RIVIERA HOTEL
5 WEST CLIFF GARDENS
BOURNEMOUTH
BH2 5HL

STREET SCENE & SITE SECTION

scale	AS SHOWN @ A1	checked	//
date	FEBRUARY 2021	drawn	WD
		A. B. C.	

9097/307

ARC Architecture Ltd.

Chapel Studios, 14 Purewell,
Christchurch, Dorset, BH23 1EP

Tel: +44 (0)1202 479919
E-mail: enquiries@andersrobertscheer.co.uk
Web: www.andersrobertscheer.co.uk

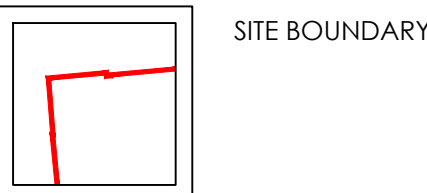


NOTES

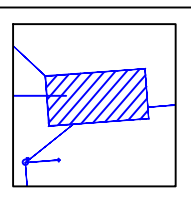
1. The contents of this drawing are copyright.
2. Do not scale. Figured dimensions only to be used.
3. Contractor must verify all dimensions and report any discrepancies before putting work in hand or making any shop drawings.
4. All flat roofs to be fitted with a man safe system to satisfy CDM 2015 regulations unless written confirmation from Principle Designer/ Principle Contractor is provided to show alternative compliance has been sought and approved.
5. Please note a sprinkler system and mechanical smoke extraction may be required in all or some areas of the building inc. basement car parks - Qualified fire consultant to confirm as part of fire safety report - to be instructed by client or contractor to cover all aspects of fire safety / Part 8
6. Fixed shut fire safety glass windows may be required where windows are in close proximity to boundaries (subject to building regulations).
7. Stair design to be independently checked by stair fabricator for reg. compliance and 89mg, prior to construction/ ordering. Dimensions to be checked before fabrication.
8. Maclean waterproofing specialists (or similar company with relevant PI insurance) to be instructed and detail all basement waterproofing designs - ARC carry no responsibility for basement designs in terms of waterproofing or structure in any way.
9. "AS BUILT" drawings will only be issued upon request from the client/ contractor. All information within as built drawings is to be confirmed and provided by the client/ contractor. ARC Architecture do not perform regular site inspections to guarantee as built information to contractor or client must sign a letter from ARC to confirm compliance with our plans on site.
10. Any discrepancies between specification notes and details must be clarified for design intention with ARC before continuing with construction.
11. At Building Regulation stage our instruction is to gain a certificate of building regulations compliance from the clients chosen inspector (A or Private alternative).
12. To ensure compliance with EWS1 fire safety forms, an independent and an appropriately qualified and insured fire consultant / engineer should be appointed by the client to ensure the finished project can be mortgaged.
13. A design and risk assessment should form part of our drawing package. If you have not received this from us by post, email or collection please contact us for a copy before moving forward with the project.
14. All planning stage planning drawings are to only to used for planning purposes.
15. All Cladding & building attachments to be all A1 fire rated.
16. We take no responsibility for the depicted site ownership boundary. Clients must notify us if they feel the our plans do not accurately depict their ownership or area of control.

Note: Any design or details relating to Fire Safety, including under Part B of the Building Regulations is shown for indicative/information purposes only and is subject to appropriate external professional input. No assumption of any responsibility is accepted.

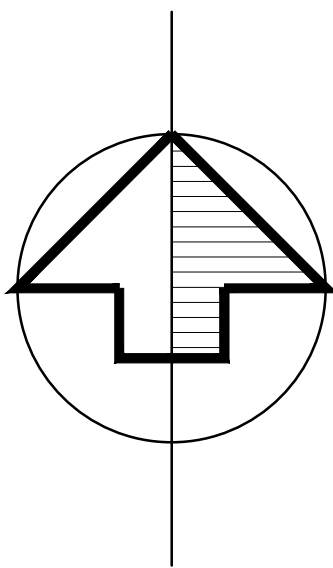
LEGEND



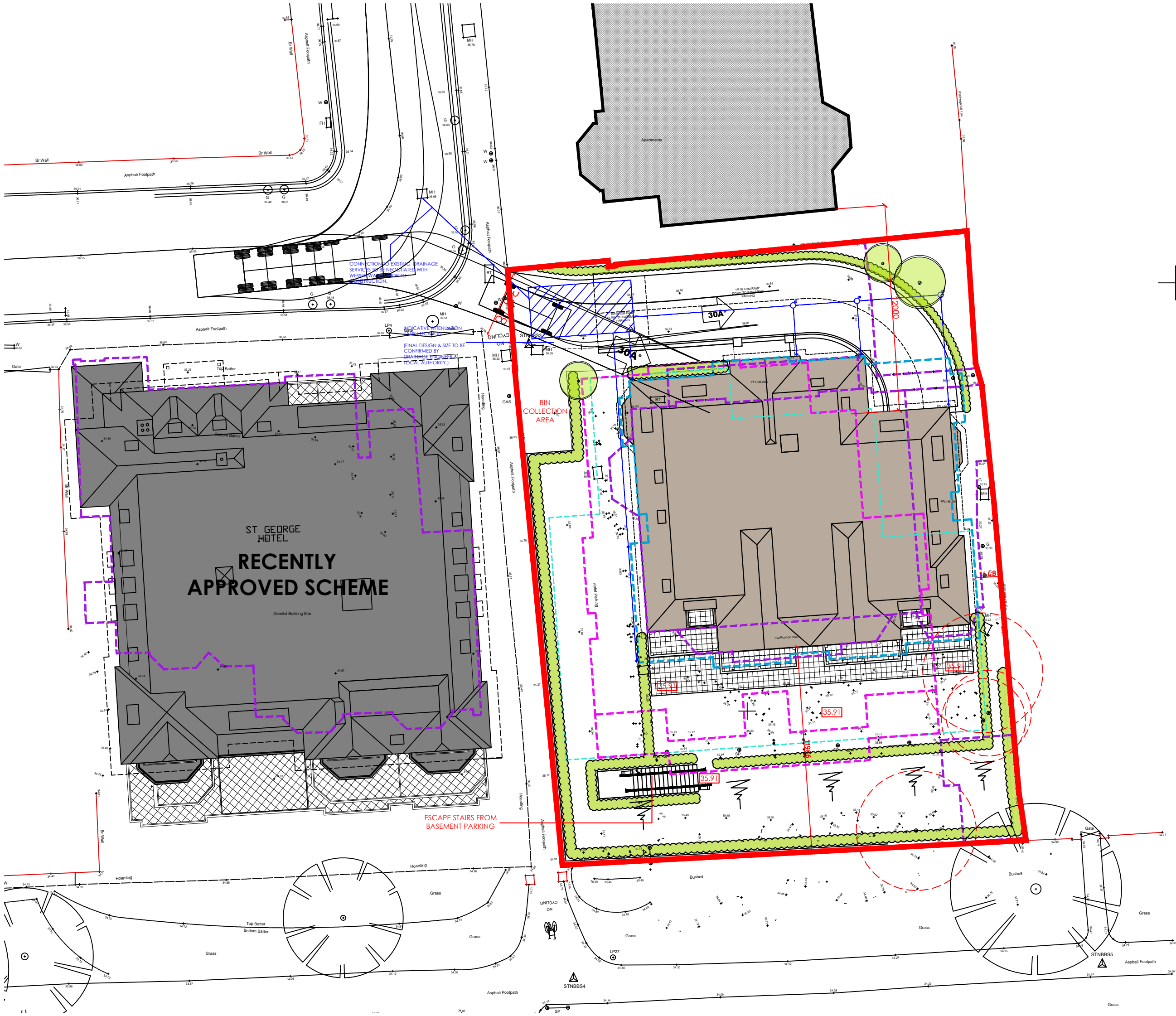
SITE BOUNDARY



DRAINAGE



SITE AREA: 0.095 HECTARES / 0.234 ACRES



INDICATIVE DRAINAGE PLAN: BASED ON TOPOGRAPHICAL SURVEY INFORMATION
SCALE 1:200

TYPICAL MAINTENANCE PLAN	
MAINTENANCE	WHEN TO BE CARRIED OUT
<ul style="list-style-type: none">• INSPECTION OF INLETS & OUTLETS• REMOVAL OF LITTER• GRASS CUTTING	MONTHLY
<ul style="list-style-type: none">• REMOVAL OF SILT AROUND COMPONENTS• REMOVAL OF VEGETATION AROUND COMPONENTS	ANNUALLY

SUDS STRATEGIES, METHOD STATEMENTS AND MAINTENANCE PROGRAMME TO BE APPROVED BY LOCAL AUTHORITY SUDS APPROVAL BODY (SAB) PRIOR TO ANY DEMOLITION OR CONSTRUCTION ON SITE.

C.	Bay windows amended, basement entrance added to elevations, cycle ramp added to escape stairs for cycles, ramp moved 5m from footpath & parking spaces for electric cars highlighted.	13.07.21	WD
B.	Further reductions to scheme following comments.	01.07.21	WD
A.	Scheme reduced following coments.	14.06.21	WD

No.	Revision.	date	by
-----	-----------	------	----

PROPOSED DEVELOPMENT
RIVIERA HOTEL
5 WEST CLIFF GARDENS
BOURNEMOUTH
BH2 5HL

INDICATIVE DRAINAGE PLAN

scale	AS SHOWN @ A1	checked	//
date	FEBRUARY 2021	drawn	WD
9097/306		A.	B.
		C.	

ARC Architecture Ltd.

Chapel Studios, 14 Purewell,
Christchurch, Dorset, BH23 1EP

Tel: +44 (0) 1202 479919
E-mail: enquiries@andersrobertscheer.co.uk
Web: www.andersrobertscheer.co.uk

