

N  
BLOCK PLAN  
SCALE 1/500

N  
LOCATION PLAN SCALE 1/1250  
0 25 50 75m

revisions	
A rooflight, levels corrected, rear extension redesigned, balcony removed, front door repositioned	03 MAY 2021
B entrance gate amended	23 SEP 2021
C side boundary corrected to accord with title deed	17 NOV 2021

client DR, MRS H KALAHY
scale 1:500 & 1:1250 @ A3

project 7 BUCCLEUCH ROAD POOLE BH13 6LB EXTENSION, ALTERATIONS, LOFT CONVERSION
drawing title / status PLANNING APPLICATION SITE AND LOCATION PLANS

drawing no. 22118/001	revision C
date MAR 2021	checked



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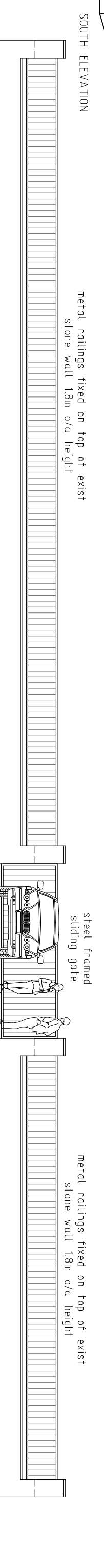
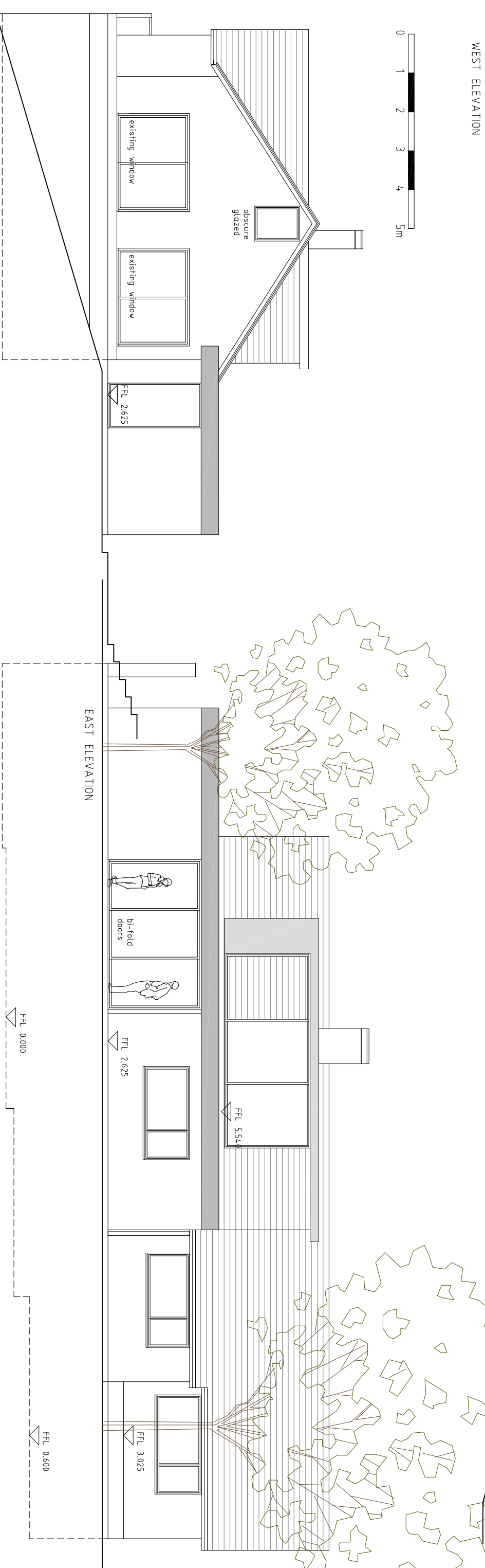
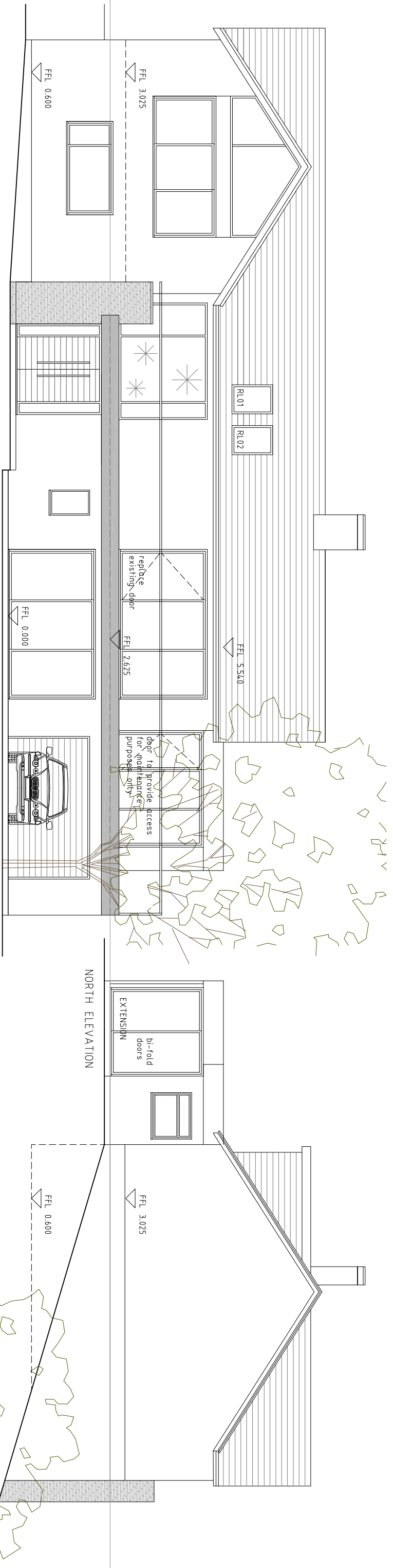


revisions

client DR, MRS H KALAHY	project 7 BUCCLEUCH ROAD POOLE BH13 6LB EXTENSION, ALTERATIONS, LOFT CONVERSION	drawing no. 22118/002	revision
scale 1:200@ A3	drawing title / status PLANNING APPLICATION STREET ELEVATION	date OCT 2021	checked



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ENTRANCE GATES

- revisions
- A entrance gates, trees
  - B rooflight, levels corrected, rear extension redesigned, roof terrace pergola removed
  - C bifold/sliding doors shown, tree omitted
  - D bifold/sliding doors amended/omitted

client  
DR, MRS H KALAHY

project  
7 BUCCLEUGH ROAD POOLE BH13 6LB  
EXTENSION, ALTERATIONS, LOFT CONVERSION

drawing no.  
22118/03

revision  
D

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1 APR 2021  
28 MAY 2021

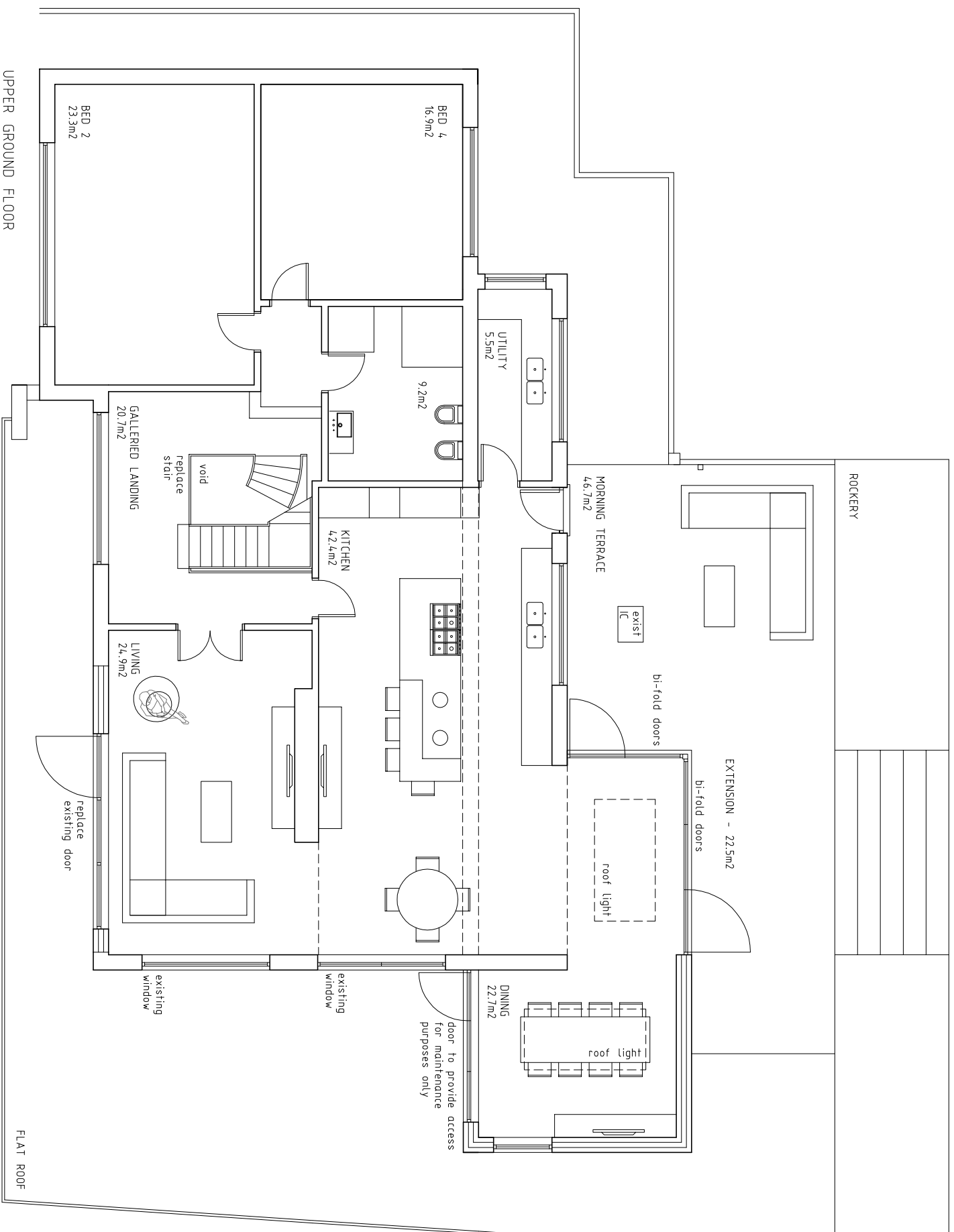
drawing title / status  
PLANNING APPLICATION  
PROPOSED ELEVATIONS

date  
MAR 2021

checked

scale  
1:100@A3

29 JUL 2021  
27 AUG 2021



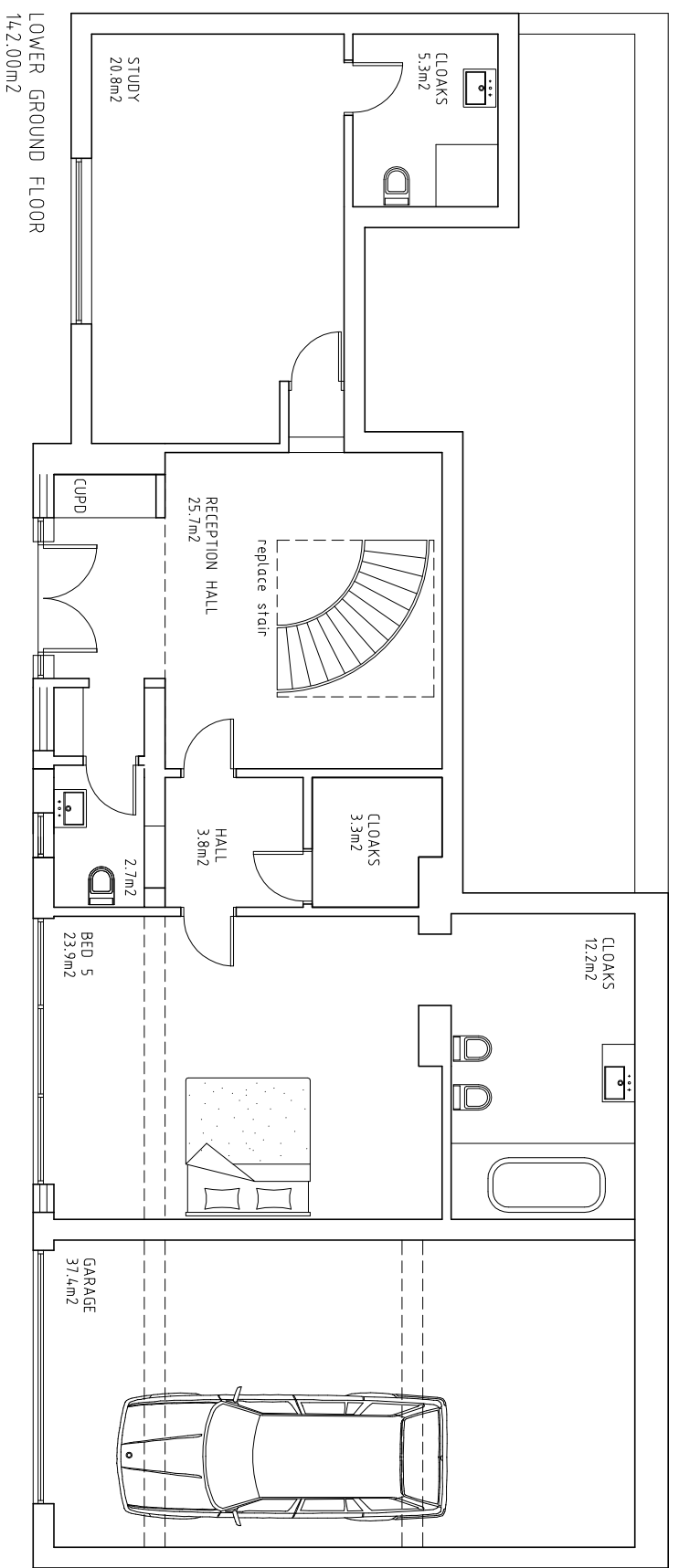
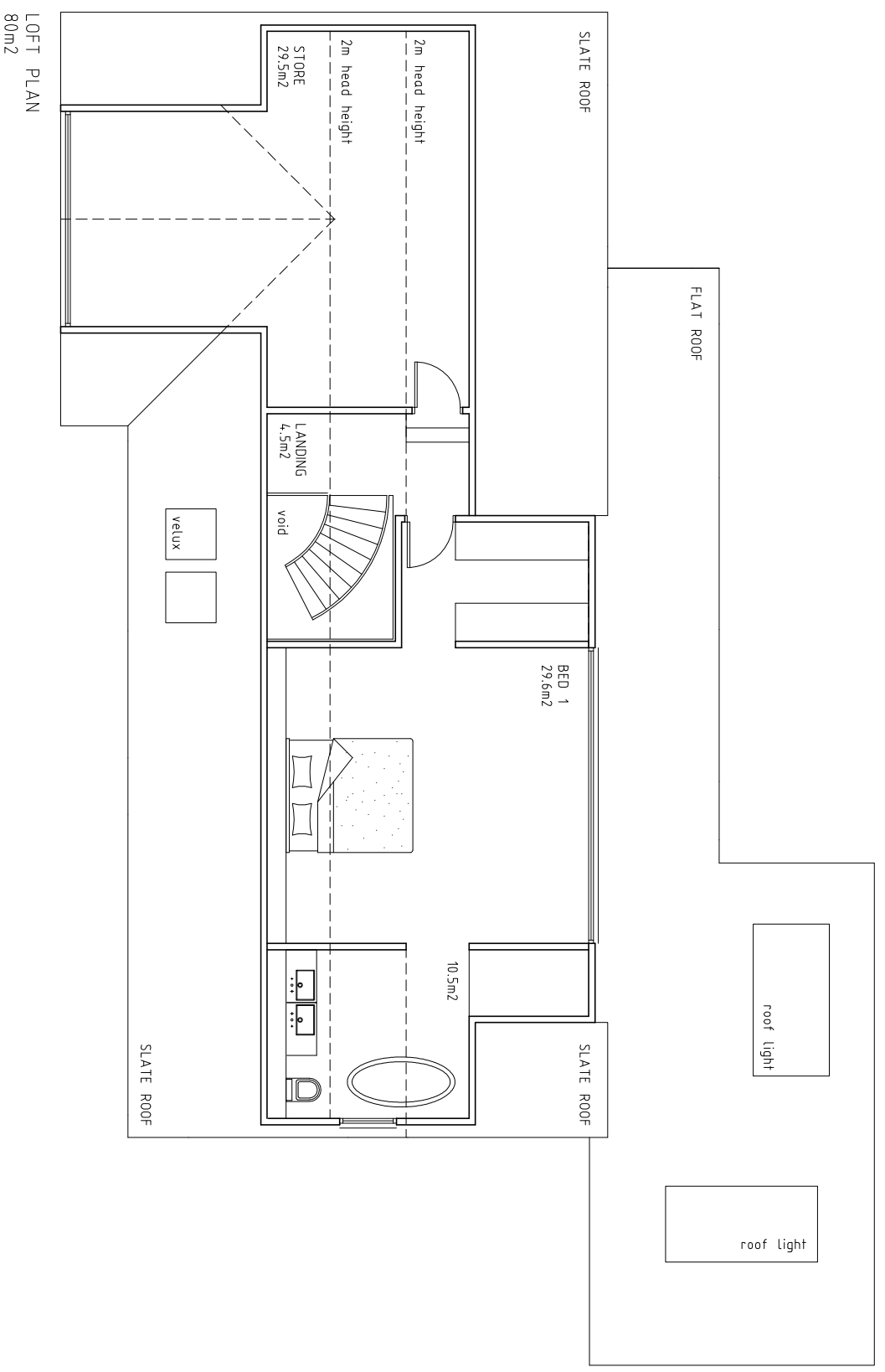
- revisions
- A rooflight, levels corrected, rear extension redesigned, roof terrace pergola removed
  - B bifold/sliding doors shown, tree omitted
  - C stair updated
  - D bifold/sliding doors amended/omitted

- 28 MAY 2021
- 29 JUL 2021
- 17 AUG 2021
- 27 AUG 2021

client	DR, MRS H KALAHY	project	7 BUCCLEUGH ROAD POOLE BH13 6LB EXTENSION, ALTERATIONS, LOFT CONVERSION	drawing no.	22118/01	revision	D
scale	1:100@A3	drawing title / status	PLANNING APPLICATION PROPOSED PLAN	date	MAR 2021	checked	

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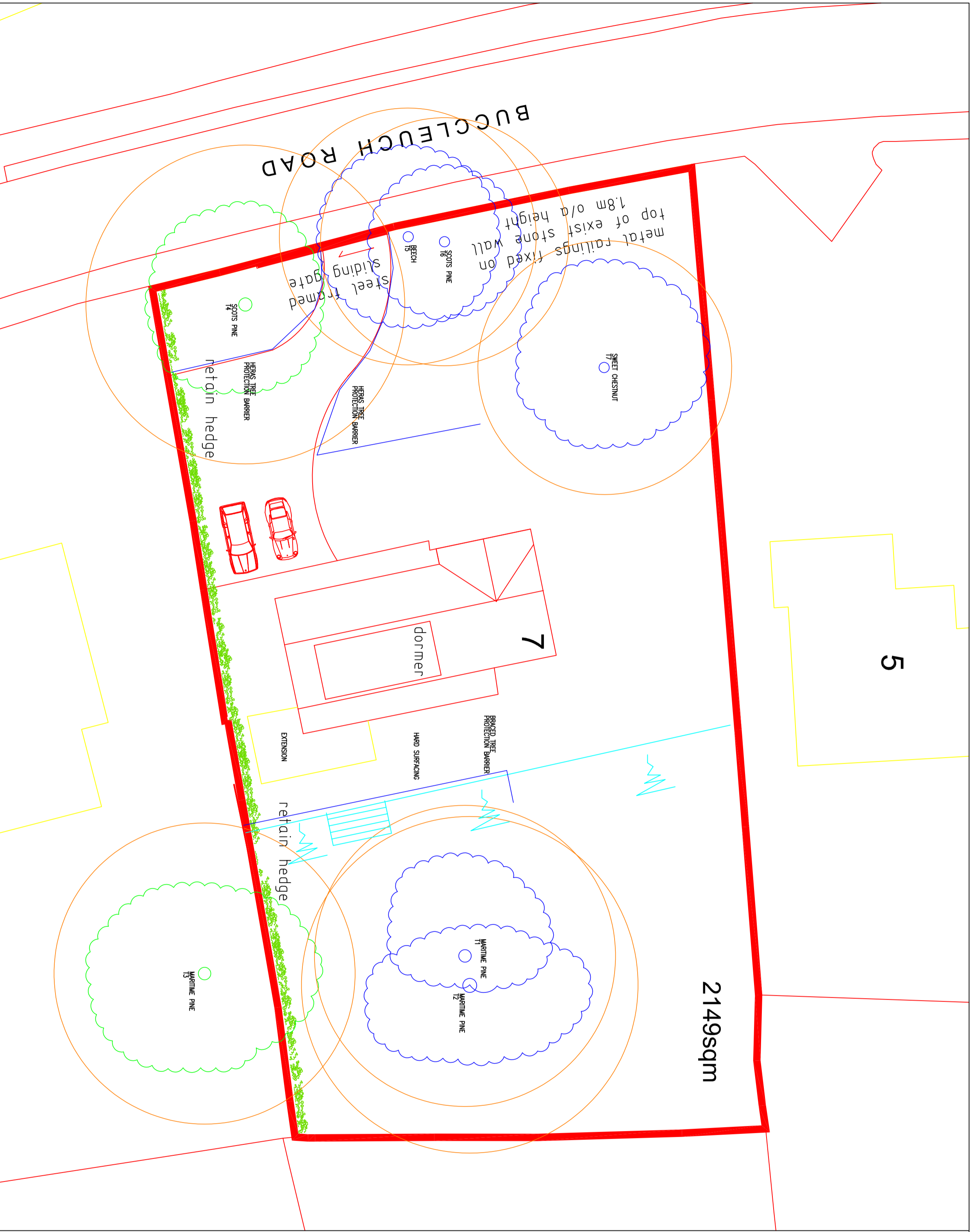
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revisions	client	project	drawing no.	revision
A rooflight, levels corrected, rear extension redesigned, roof terrace pergola removed	DR, MRS H KALAHY	7 BUCCLEUGH ROAD POOLE BH13 6LB EXTENSION, ALTERATIONS, LOFT CONVERSION	22118/02	A
28 MAY 2021	scale	drawing title / status	date	checked
	1:100@A3	PLANNING APPLICATION PROPOSED PLANS	MAR 2021	



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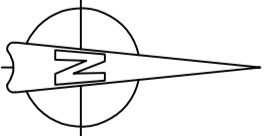


BS 5837:2012

CATEGORY A TREES  
 CATEGORY B TREES  
 CATEGORY C TREES

ROOT PROTECTION AREA  
 TREE PROTECTION BARRIER

○ ○ ○ ○  
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project	7 BUCCLEUCH ROAD ROOF
client	DR & MRS H. KOLAHY
drawing title	TREE SURVEY AND TREE PROTECTION PLAN
<b>MARK HINSLEY</b> <b>ARBORICULTURAL</b> <b>CONSULTANTS LTD</b>	
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scale	paper size
1:200	A2
drawn by	date
JC	16/09/2021
drawing number	revision
6274	
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Membership No.FE00604

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MSc Res Man (Arb), OND (Arb), F.Arbor.A

Established 1994



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Our Ref: 6274/JC/IMP/09/21

16<sup>th</sup> September 2021

Dr & Mrs H. Kolahy  
7 Buccleuch Road  
Poole  
BH13 6LB

Dear Dr & Mrs Kolahy

**RE: Trees at 7 Buccleuch Road, Poole, BH13 6LB.**

**Brief:** To survey the trees on the above site, comment upon their condition and suitability for retention on the site of the proposed development; indicate the constraints the retention of the trees will place upon such a proposal.

**Inspected by:** J Christopher

**Dates of inspection:** 9<sup>th</sup> September 2021

**Survey Technique**

The surveyed trees were visually assessed from ground level as far as access allowed. No climbing inspections or invasive examination techniques were carried out. Access to some trees was restricted, in such cases the descriptions of the trees given in the survey schedule are subject to the tree being free of significant defects that were not clearly visible. Detail on the individual trees assessed is given in the survey schedule using the format in BS5837: 2012 'Trees in Relation to Design, Demolition and Construction – Recommendations', please read in conjunction with the enclosed Tree Survey Plan. The columns and abbreviations used are:

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**Senior Consultant:** Mark Hinsley MSc Res Man(Arb), OND(Arb), F.ArborA  
**Consultant:** John Christopher FdScArb, HNC Building Studies  
**Arboriculturalist:** Kym Brooks NDArb  
**Technician:** Rebecca Hinsley BA (Hons), FdArt & Design  
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## TREE SURVEY FOR 7 BUCCLEUCH ROAD, POOLE, BH13 6LB.

### Survey Technique

The surveyed trees were visually assessed from ground level as far as access allowed. No climbing inspections or invasive examination techniques were carried out. Access to some trees was restricted, in such cases the descriptions of the trees given in the survey schedule are subject to the tree being free of significant defects that were not clearly visible. Detail on the individual trees assessed is given in the survey schedule using the format in BS5837: 2012 'Trees in Relation to Design, Demolition and Construction – Recommendations', please read in conjunction with the enclosed Tree Survey Plan.

The columns and abbreviations used are:

Column 1 = T – Tree number marked on the submitted plan.

Column 2 = The Latin binomial and common name if applicable.

Column 3 = Hgt – Approximate tree height, in metres; to the nearest 0.5m if under 10m.

Column 4 = Dbh – Diameter (rounded to the nearest 10mm). Single stemmed trees, at 1.5m above ground level. Low branched trees, at the narrowest point below the fork. Trunks with irregular swellings, at the narrowest point below the swelling. Multi stemmed trees, each stem measured at 1.5m above ground level. # estimated value if unable to gain access.

Column 5 = RPA – The Root Protection Area: radius measured in metres from the centre of the trunk.

Column 6 = B/S – Approximate branch spread to the four cardinal points of the compass, in metres.

Column 7 = FSB – Height of first significant branch above ground level in metres and direction of growth

Column 8 = C/C – Height of canopy above ground level, in metres.

Column 8 = Age – Age class as representation of passage through normal life cycle – Y=Young,

SM= Semi-Mature, EM = Early Mature, M=Mature, FM = Fully Mature, OM = Over Mature.

Column 9 = R/C – Estimated remaining contribution, in years.

Column 10 = Cat – BS5837: 2012 Survey category.

Categories are:-

- U** **Trees unsuitable for retention** (Red on plan)  
Trees that can not realistically be retained, in the context of the current land use, for longer than 10 years.
- A** **Trees of high quality** (Green on plan)  
Trees able to make a substantial contribution for a minimum of 40 years.  
Particularly good examples of trees, or essential components of groups of arboricultural features e.g. avenues. Visual importance or significant conservation, historical or other value. Veteran trees, especially if ancient.
- B** **Trees of moderate quality** (Blue on plan)  
Those in such a condition as to be able to make a significant contribution for a minimum of 20 years. Might be category A but have defects or lack special qualities; or growing in a high value group. Has conservation or cultural values.
- C** **Trees of low quality** (Grey on plan)  
Unremarkable trees of limited merit, with a life expectancy of at least 10 years; or growing in a low value group. Also, young trees with a stem diameter of below 150mm.

Column 11 = General Observations - notes re structural and/or physiological condition, and/or preliminary management recommendations.



## SURVEY SCHEDULE

T	Name & Species	Hgt	Dbh	RPA	B/S	C/C	Age	R/C	Cat	General Observations
T1	Maritime Pine <i>Pinus pinaster</i>	18	850	10.20m	N6 E2 S5 W7 FSB	8 15 6 6	FM	40+	B	Growing as a pair with T2. Good tree.
T2	Maritime Pine <i>Pinus pinaster</i>	18	950	11.40m	N8 E4 S7 W4 FSB	12 12 12 12	FM	40+	B	Growing as a pair with T1. Good tree.
T3	Maritime Pine <i>Pinus pinaster</i>	18	850	10.20m	N8 E6 S8 W8 FSB	10 12 12 12	FM	40+	A	Located within neighbouring property. Good tree.
T4	Scots Pine <i>Pinus sylvestris</i>	17	900	10.80m	N5 E7 S7 W7 FSB	4 4 4 4	FM	40+	A	Good tree. Prominent in street scene.
T5	Beech <i>Fagus sylvatica</i>	17	730	8.70m	N6 E6 S6 W6 FSB	3 3 3 5	FM	40+	B	Good tree. Prominent in street scene. Buttress roots and structural root plate exerting pressure on and causing damage to boundary retaining wall.
T6	Scots Pine <i>Pinus sylvestris</i>	15	700	8.40m	N5 E5 S5 W5 FSB	11 11 11 11	FM	40+	B	Good tree. Prominent in street scene.
T7	Sweet Chestnut <i>Castanea sativa</i>	14	740	8.60m	N7 E6 S6 W7 FSB	4 4 4 4	FM	40+	B	Good tree. Prominent in street scene.

### General Constraints:

When considering the retention of trees in a planning context, preference should be given to retaining trees in categories A and B as these are the trees that contribute most to the amenity of the site and surroundings for the longest time.

Category C trees are of lesser importance, they would not usually be retained where they would impose a significant restraint on development.

Trees placed in the removal 'U' category are assessed upon their condition and not on any planning proposals which may require the removal of the tree for other reasons; category U trees are unsuitable for retention in a development context and should be removed for sound arboricultural reasons.

Groups of even low value trees may have a collective screening or group value in the landscape that is higher than the individual categories of the component trees might suggest.

The enclosed tree survey plan indicates the initial root protection areas produced from the survey data. The Root Protection Areas (RPA's) for the trees have been calculated using the formula given in to BS5837:2012. This is the recommended area around the tree in square metres within which no construction, excavation, soil stripping, level changes or other potentially harmful activities should take place unless appropriate precautions or techniques are employed to avoid root damage. Barriers should protect this area for the duration of any development works to avoid damage to the root system.

Adequate space should also be allowed for future growth, particularly around young and middle-aged trees.

These root protection areas have been scaled onto a flat plan. However, they represent a linear measurement to be taken across the topography of the ground. On steeply sloping areas a linear ground measurement will not extend so far across the plan as a flat ground measurement. It therefore follows that, on the steep areas of the site, it could be possible to create a more accurate, across the ground, root protection area measurement and marginally reduce some of the root protection areas from the limits shown on the enclosed plan.

The root protection areas deal only with the physical protection of the root system, other issues such as shade and dominance may still need to be addressed

### **Development Proposal:**

It is proposed to extend the existing property to the rear of the building along its eastern elevation. Existing hard landscaping will be realigned to the rear of the dwelling and a new sliding gate will be constructed to the front boundary of the property.

### **Arboricultural Impact Assessment:**

The tree survey has been undertaken using the guidance in BS5837: 2012 Trees in Relation to Design, Demolition and Construction – Recommendations.

No trees are to be felled as part of the development proposals. No tree works are required as part of the development.

The proposed footprint of the extension falls outside of all retained tree root protection areas and the construction in this area raises no significant arboricultural concerns. The extension can be founded traditionally using an excavation, should ground conditions allow.

The proposed hard surfacing to the rear of the extension is located outside of retained tree root protection areas and traditional construction techniques can be used.

The steps leading from the lower garden level to the upper level across an existing open ground bank do fall very minimally within the root protection area of the retained T1. Any excavation in this area to create formwork for the construction of the steps will be minimal and we do not consider the works to result in any notable impact on the tree.

The proposed gated access to the front of the plot is located within the root protection areas of retained trees. The gate and any other associated infrastructure required will need to be constructed without the need for a significant excavation into open ground within root protection areas. Any excavation under 75mm in depth and width is considered to be minor and not of any notable arboricultural impact.

The placement of drainage runs, services and soakaways is achievable without the need for excavations within the root protection areas of retained trees.

Tree protection barriers on the site will be required for the project. To the rear of the plot for the demolition and main construction period, including below ground works, BS5837:2012 Figure 2 tree protection barriers will be erected, those being, Heras panels secured to a braced scaffolding frame. To the front of the property a lower specification tree protection barrier will be adequate, that being a BS5837:2012 Figure 3 barrier constructed from Heras panels sited in vulcanised rubber feet and secured in place with road pins.

In our opinion, the construction works do not raise any significant arboricultural impacts other than the protection of trees during the works and this document supports the development proposals.

If you require any further information at this stage, please do not hesitate to contact us.

Yours sincerely

John Christopher  
Arboriculturalist.