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6. All flat roofs to be fitted with a man safe system to satisfy CDM 2015 regulations unless written confirmation from Principle Designer/Principle Contractor is provided to show alternative compliance has been sought and approved.
7. Stair design to be independently checked by stair fabricator for regs. compliance and sizing, prior to construction/ordering. Dimensions to be checked before fabrication.
8. Maclean waterproofing specialists (or similar company with relevant PI insurance) to be instructed and detail all basement waterproofing designs. ARC carry no responsibility or PI cover for basement designs in terms of waterproofing or structure in any way.
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11. We do not take responsibility for meeting minimum space as set out in Government Technical housing standards - nationally described space standards document.
12. All Cladding & building attachments externally to be all A1 fire rated.

**FIRE:** We do NOT take any responsibility and do not carry any PI cover in relation to any matters relating to the safety, Part B technical requirements, BS 5991 for fire or EWS1 and drawings in no way form a fire strategy report. All design details relating to Fire Safety are shown for indicative purposes only and should be read in conjunction with the latest version of the Approved Fire Consultant Fire Strategy Document Report - all information contained in such a report supersedes ARC drawings in all aspects. No assumption of any responsibility is accepted. If you are unaware who the appointed fire consultant is or don't have a copy of the latest version of the report please contact arc in writing immediately.

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Windows forming the overhauling strategy with a change in floor level exceeding 600mm between inside and outside require 1.1m guarding (APD D diagram 3.1).

**COMMERCIAL SPRINKLERS**  
A commercial sprinkler system may be required to the entire building subject to fire consultants confirmation. Commercial sprinklers require substantial holding tanks that need to be designed into the scheme (in some situations these can be subterranean tanks).  
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**BASEMENT CAR PARKS OR STORAGE**  
Additional means of escape/evacuation (stairs / lifts / ramps) may be required subject to Fire Consultants input, allowance made by ARC are purely indicative.  
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Basement structure should be considered with fire consultant & structural engineer to ensure increased fire protection due to presence or future potential of electric car charging facilities and associated increased risks.

**MATERIALS IN CLOSE PROXIMITY TO BOUNDARY**  
SUITABLE MITIGATION MUST BE PROVIDED (E.G. FIRE PROOF GLAZING etc.) FOLLOWING EXTENSIVE BOUNDARY AND NOTIONAL BOUNDARY PROXIMITY CALCULATIONS BEING UNDERTAKEN BY SPECIALIST

**LEGEND**

10m @ 1:100

	SITE BOUNDARY		OUTLINE OF APPROVED NEIGHBOURING SCHEME
	EXISTING BUILDING TO BE DEMOLISHED		OUTLINE OF BASEMENT
	EXISTING TREES TO BE REMOVED		EXISTING TREES TO BE RETAINED
	EXISTING GROUND LEVEL		INDICATIVE PLANTING
	PROPOSED GROUND LEVEL		2M X 2M VISIBILITY SPLAY
	PART 'R' CONNECTIVITY POINT		

I	Balconies reduced	17.12.24	AE
H	COMMENT REVISIONS	25.10.24	MC
G	Cycle store changes	12.09.24	TC
F	Planning consultant changes	15.07.24	TC
E	Planning consultant changes	27.06.24	TC
D	Bike store removed	15.03.24	TC
C	ARC checklist	06.03.24	TC
B	ARC checklist	16.02.24	TC
A	REVISED REAR UNIT SHOWN	30.01.24	JA

**PROPOSED DEVELOPMENT, PURBECK COURT, BOSCOMBE OVERCLIFF DRIVE, BOURNEMOUTH, DORSET, BH5 2EN**

**SITE, BLOCK & LOCATION PLANS**

scale	AS SHOWN @ A1	checked	CS / JTR
date	SEPTEMBER 2024	drawn	AE / TC
		A	B
		C	D
		E	F
		G	H

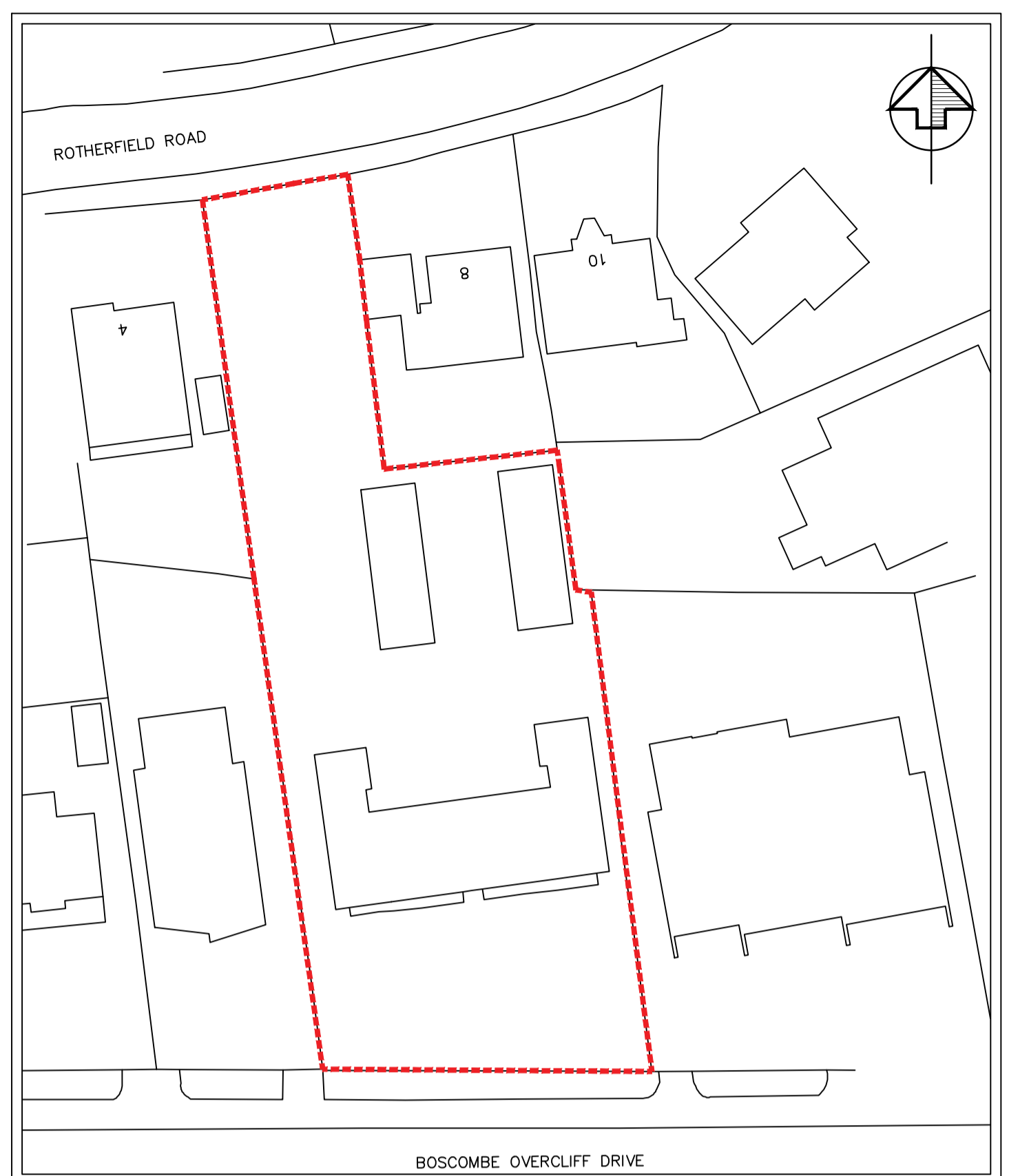
**ARC Architecture Ltd.**

Chapel Studios, 14 Purewell, Christchurch, Dorset, BH23 1EP

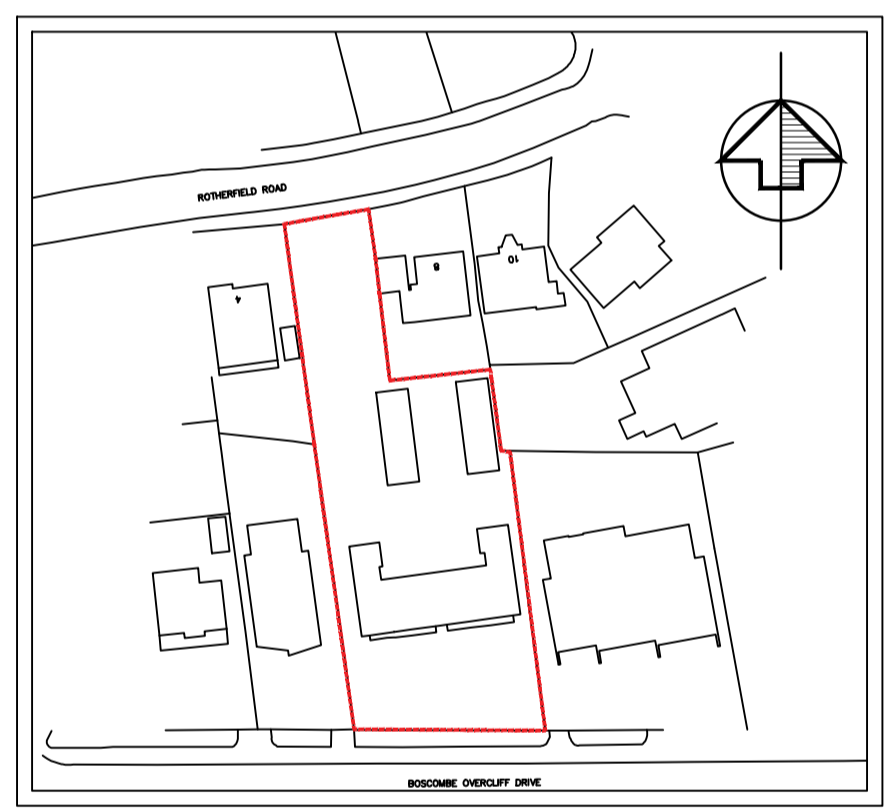
Tel: +44 (0)1202 479919  
E-mail: enquires@andersrobtscheer.co.uk  
Web: www.andersrobtscheer.co.uk



**SITE PLAN: BASED ON TOPOGRAPHICAL SURVEY INFORMATION**  
SCALE: 1:200



**BLOCK PLAN: BASED ON ORDNANCE SURVEY EXTRACT**  
O.S LICENSE NO. - 100007080  
SCALE 1:500



**LOCATION PLAN: BASED ON ORDNANCE SURVEY EXTRACT**  
O.S LICENSE NO. - 100007080  
SCALE 1:1250

SITE AREA: 0.219 HECTARES / 0.543 ACRES  
46 X PARKING SPACES  
54 X CYCLE SPACES  
PROPOSED GIA - 5199 SQ.M / 55961 SQ.FT  
EXISTING GIA - 937 SQ.M / 10085 SQ.FT

**SITE PLAN: BASED ON TOPOGRAPHICAL SURVEY INFORMATION**  
SCALE: 1:200

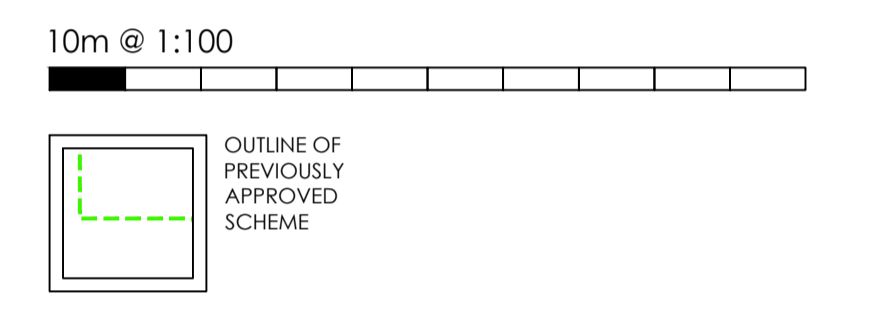
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**LEGEND**



GROSS INTERNAL AREA			
FLOOR	SQM	SQFT	
BASEMENT FLOOR PLAN	1309	14094	
GROUND FLOOR PLAN	617	6644	

SCHEDULE OF ACCOMMODATION				
UNIT NO.	BEDS	SQM	SQFT	
1	2	115	1238	
2	2	139	1496	
3	2	143	1539	
4	2	88	955	

F	Balconies reduced	17.12.24	AE
E	COMMENT REVISIONS	25.10.24	MC
D	Outlines of approved added	15.07.24	TC
C	Planning consultant changes	27.06.24	TC
B	ARC checklist	06.03.24	TC
A	ARC checklist	16.02.24	TC

No.	Revision.	date	by

PROPOSED DEVELOPMENT,  
 PURBECK COURT,  
 BOSCOMBE OVERCLIFF DRIVE,  
 BOURNEMOUTH,  
 DORSET,  
 BH5 2EN

APARTMENT BLOCK -  
 FLOOR PLANS 1 OF 4

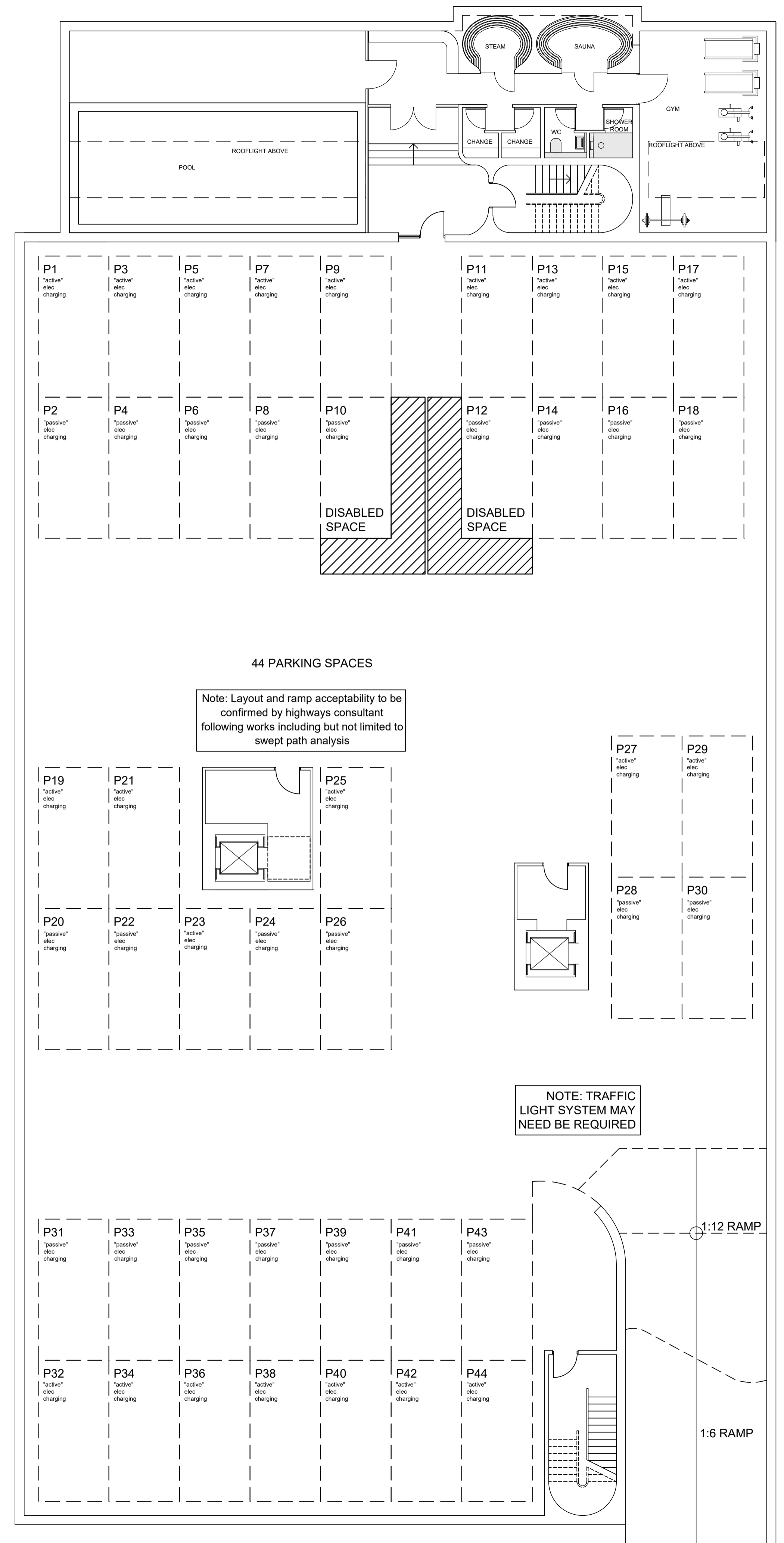
scale	AS SHOWN @ A1	checked	CS / JTR
date	JULY 2024	drawn	AE / TC

**9753/201**

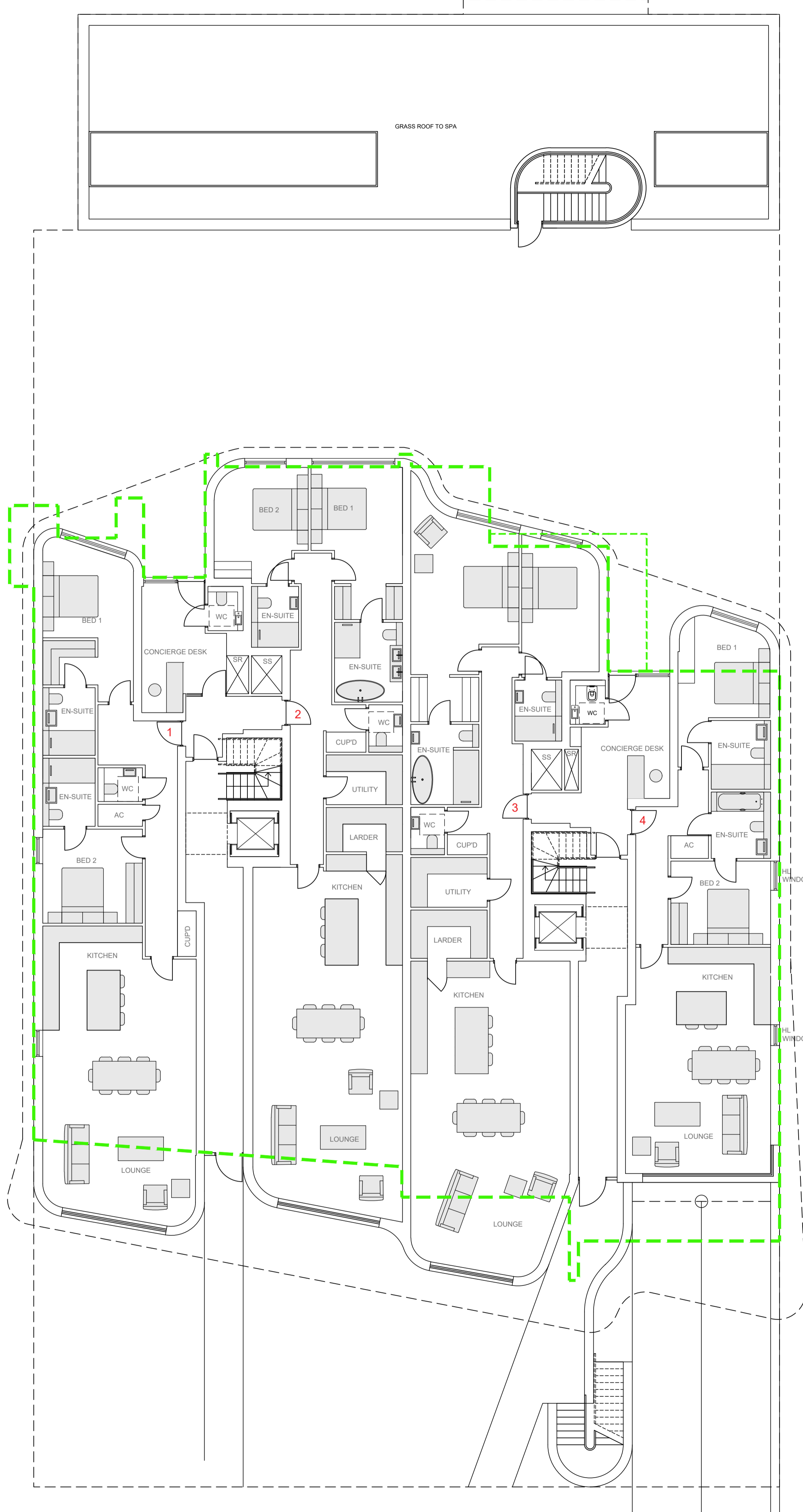
**ARC Architecture Ltd.**

Chapel Studios, 14 Purewell,  
 Christchurch, Dorset, BH23 1EP

Tel: +44 (0) 1202 479919  
 E-mail: enquiries@andersrobertscheer.co.uk  
 Web: www.andersrobertscheer.co.uk



PROPOSED BASEMENT FLOOR PLAN:  
 SCALE: 1:100



PROPOSED GROUND FLOOR PLAN:  
 SCALE: 1:100

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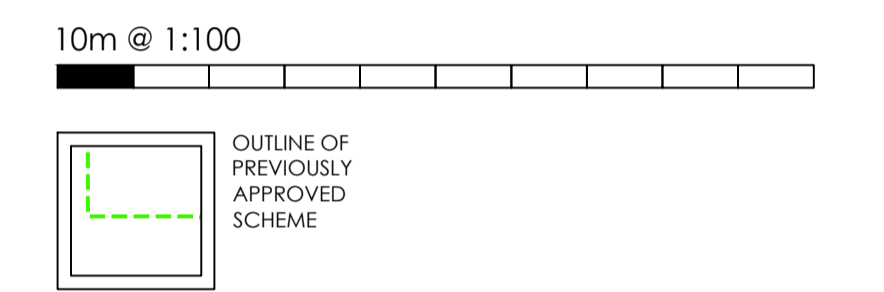
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**LEGEND**



GROSS INTERNAL AREA			
FLOOR	SQM	SGFT	
FIRST FLOOR PLAN	617	6641	
SECOND FLOOR PLAN	617	6641	

SCHEDULE OF ACCOMMODATION				
UNIT NO.	BEDS	SQM	SGFT	
5	3	132	1420	
6	2	142	1528	
7	2	140	1506	
8	2	126	1356	
9	3	132	1420	
10	2	142	1528	
11	2	140	1506	
12	2	126	1356	

F	Balconies reduced	17.12.24	AE
D	COMMENT REVISIONS	25.10.24	MC
E	Outlines of approved added	15.07.24	TC
C	Planning consultant changes	27.06.24	TC
B	ARC checklist	06.03.24	TC
A	ARC checklist	16.02.24	TC

No.	Revision.	date	by

PROPOSED DEVELOPMENT,  
 PURBECK COURT,  
 BOSCOMBE OVERCLIFF DRIVE,  
 BOURNEMOUTH,  
 DORSET,  
 BH5 2EN

APARTMENT BLOCK -  
 FLOOR PLANS 2 OF 4

scale	AS SHOWN @ A1	checked	CS / JTR
date	JULY 2024	drawn	AE / TC

9753/202	A	B	C	D	E	F

ARC Architecture Ltd.

Chapel Studios, 14 Purewell,  
 Christchurch, Dorset, BH23 1EP

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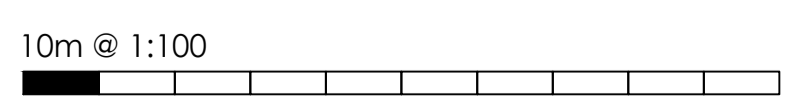
PROPOSED 1ST FLOOR PLAN:  
 SCALE: 1:100

PREVIOUS POSITION OF  
 BALCONY



PROPOSED 2ND FLOOR PLAN:  
 SCALE: 1:100

PREVIOUS POSITION OF  
 BALCONY



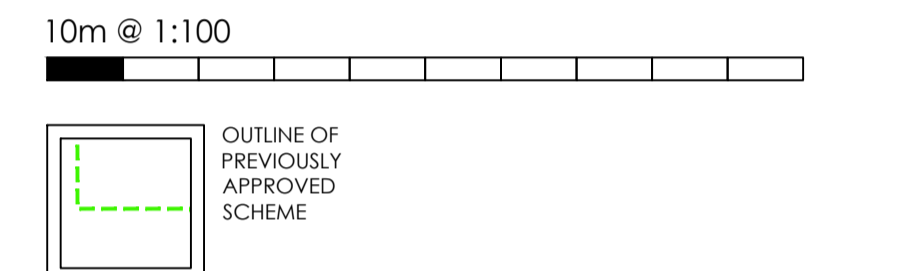
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**LEGEND**



**GROSS INTERNAL AREA**

FLOOR	SQM	SQFT
THIRD FLOOR PLAN	617	6641
FOURTH FLOOR PLAN	605	6512

**SCHEDULE OF ACCOMMODATION**

UNIT NO.	BEDS	SQM	SQFT
13	3	132	1420
14	2	142	1528
15	2	140	1506
16	2	126	1356
17	2	120	1291
18	2	142	1528
19	2	140	1506
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APARTMENT BLOCK -  
 FLOOR PLANS 3 OF 4

scale	AS SHOWN @ A1	checked	CS / JTR
date	JULY 2024	drawn	AE / TC

9753/203				
A	B	C	D	E

ARC Architecture Ltd.

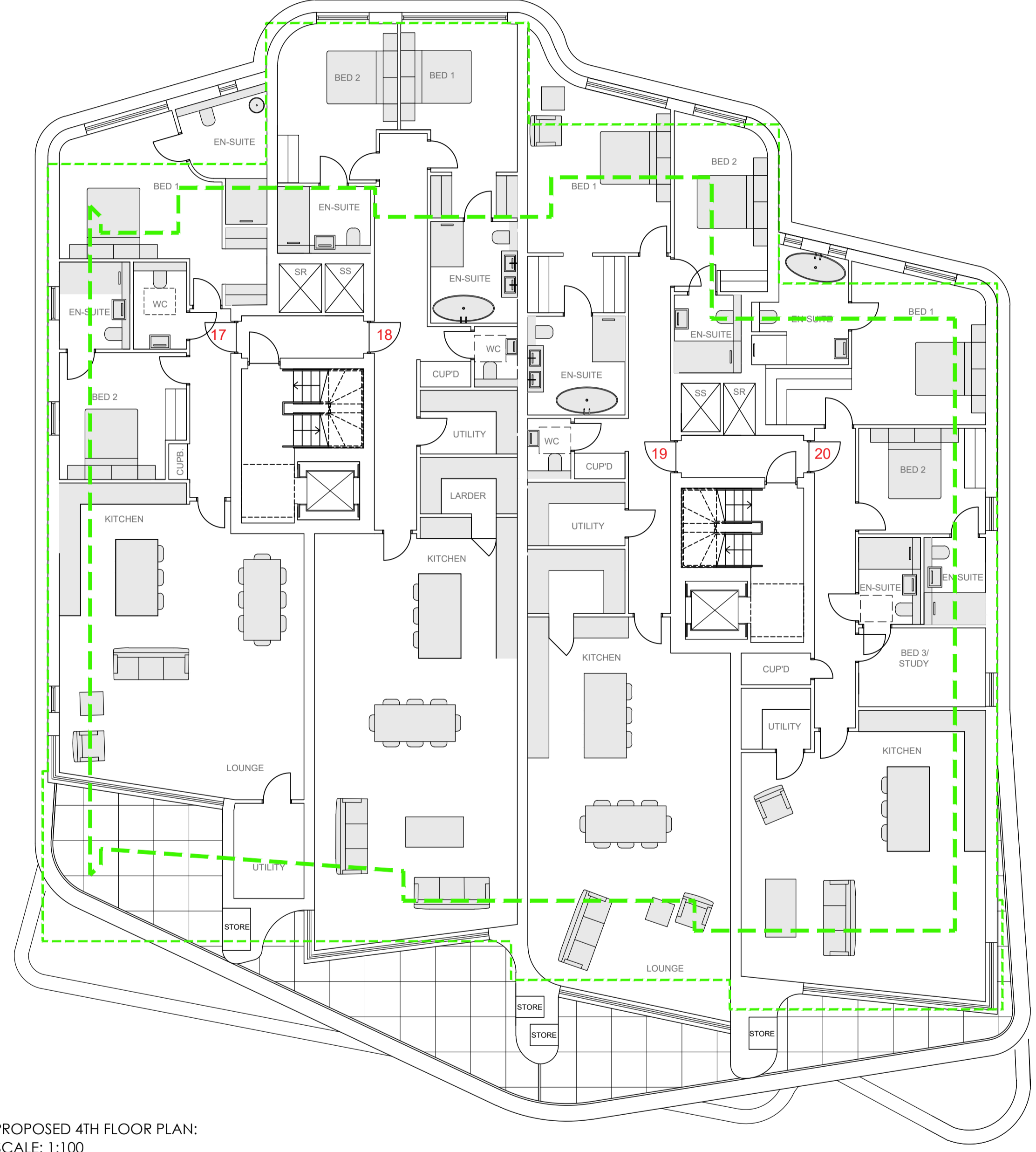
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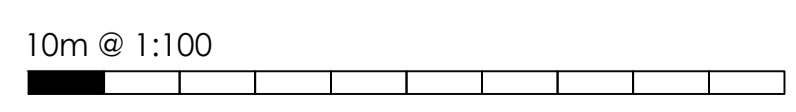


PROPOSED 3RD FLOOR PLAN:  
 SCALE: 1:100

PREVIOUS POSITION OF  
 BALCONY



PROPOSED 4TH FLOOR PLAN:  
 SCALE: 1:100



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LEGEND

10m @ 1:100



GROSS INTERNAL AREA		
FLOOR	SQM	SQFT
FIFTH FLOOR PLAN	388	4176

SCHEDULE OF ACCOMMODATION			
UNIT NO.	BEDS	SQM	SQFT
21	3	173	1862
22	3	169	1819

D	Balconies reduced	17.12.24	AE
C	Planning consultant changes	27.06.24	TC
B	ARC checklist	06.03.24	TC
A	ARC checklist	16.02.24	TC

No.	Revision.	date	by

PROPOSED DEVELOPMENT,  
PURBECK COURT,  
BOSCOMBE OVERCLIFF DRIVE,  
BOURNEMOUTH,  
DORSET,  
BH5 2EN

APARTMENT BLOCK -  
FLOOR PLANS 4 OF 4

scale	AS SHOWN @ A1	checked	CS / JTR
date	JULY 2024	drawn	AE / TC
9753/204	A	B	C
	D		

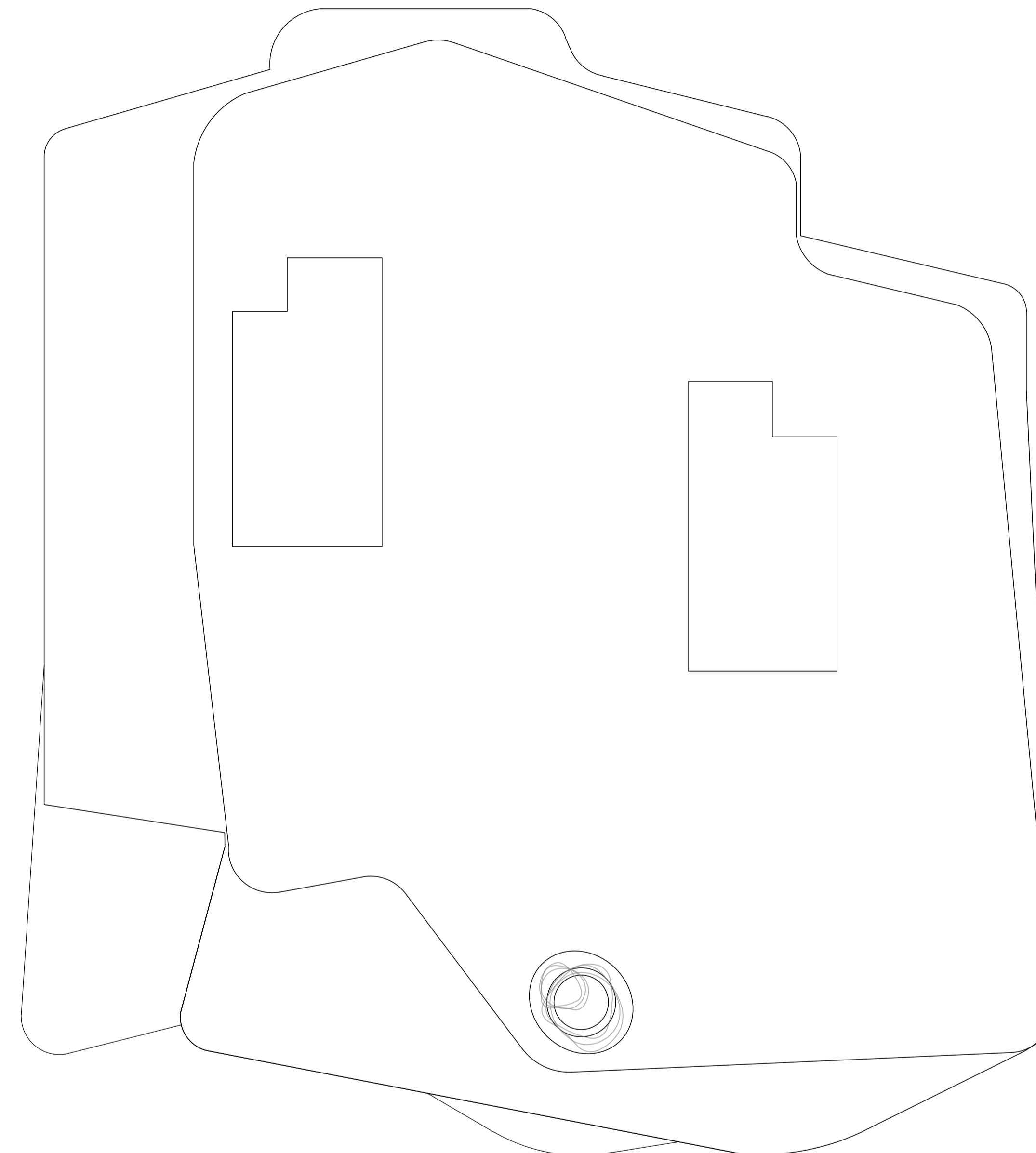
ARC Architecture Ltd.

Chapel Studios, 14 Purewell,  
Christchurch, Dorset, BH23 1EP

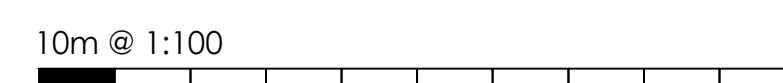
Tel: +44 (0) 1202 479919  
E-mail: enquiries@andersrobertscheer.co.uk  
Web: www.andersrobertscheer.co.uk



PROPOSED 5TH FLOOR PLAN:  
SCALE: 1:100



PROPOSED ROOF PLAN:  
SCALE: 1:100



- The contents of this drawing are copyright.
- Planning drawings are only to be used for planning purposes & no reliance on compliance with Building regulations should be assumed.
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- Contractors must verify all dimensions and report any discrepancies before putting work in hand or making any shop drawings.
- All flat roofs to be fitted with a man safe system to satisfy CDM 2015 regulations unless written confirmation from Principle Designer/Principle Contractor is provided to show alternative compliance has been sought and approved.
- Stair design to be independently checked by stair fabricator for regn. compliance and sizing, prior to construction/ ordering. Dimensions to be checked before fabrication.
- Maintenance waterproofing specialists (or similar company with relevant PI insurance) to be instructed and detail all basement waterproofing designs. -ARC carry no responsibility or PI cover for basement designs in terms of waterproofing or structure in any way.
- A design and risk assessment should form part of our drawing package. If you have not received this from us by post, email or collection please contact us for a copy before moving forward with the project.
- We take no responsibility for the depicted site ownership boundary. Clients must notify us if they feel the our plans do not accurately depict their ownership or area of control for planning purposes.
- We do not take responsibility for meeting minimum space as setout in Government Technical housing standards - nationally described space standards document.
- All Cladding & building attachments externally to be all A1 fire rated.

**FIRE:** We do NOT take any responsibility and do not carry any PI cover in relation to any matters relating to the safety, Part B, building regulations, BS 9991 for fire EWS1 and drawings in no way form a fire strategy report. All design details relating to Fire Safety are shown for indicative purposes only and should be read in conjunction with the latest version of the Appointed Fire Consultant Fire Strategy Document/ Report - all information contained in such a report supersedes ARC drawings in all aspects. No assumption of any responsibility is accepted. If you are unaware who the appointed fire consultant is or don't have a copy of the latest version of the report please contact arc in writing immediately.  
**EWS1:** an independent and an appropriately qualified and insured fire consultant/engineer should be appointed by the client/contractor to ensure the finished project is compliant. Some mortgage companies require EWS1's on buildings outside of the EWS1 standard criteria.  
**Part B & Fire Safety:** An independent and appropriately qualified fire consultant should be instructed by the client/contractor at the earliest possible point in the design process to ensure compliance with Part B & Fire safety. Please note that subject to a fire consultants confirmation/input the following points may be required in some or all areas of the building: 1) Sprinkler systems (Domestic or commercial) 2) Mechanical smoke extraction 3) Fixed shut fire safety glass 4) some sprinkler systems require large holding tanks 5) plan changes in relation to fire safety could result in loss of usable floor area and potential requirement for additional planning applications. (this list is not exhaustive)

**WINDOWS FORMING THE OVERHEATING STRATEGY WITH A CHANGE IN FLOOR LEVEL EXCEEDING 600mm BETWEEN INSIDE AND OUTSIDE REQUIRE 1.1m GUARDING (APD O diagram 3.1).**

**COMMERCIAL SPRINKLERS:**  
 A commercial sprinkler system may be required to the entire building subject to fire consultants confirmation. Commercial sprinklers require substantial holding tanks that need to be designed into the schema (in some situations these can be subterranean tanks).  
 - client should appoint a qualified Fire Consultant as soon as possible to confirm requirements, spec. and constraints.

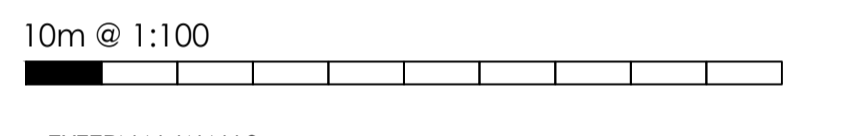
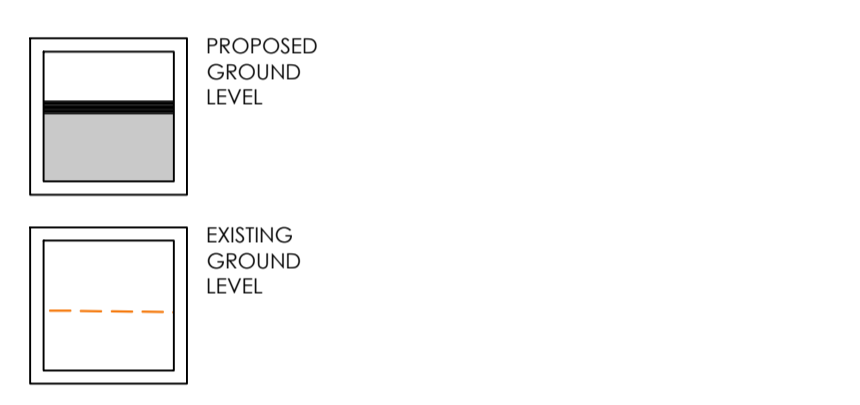
**BASEMENT CAR PARKS OR STORAGE:**

- Additional means of escape/evacuation (stairs / lifts / ramps) may be required subject to Fire Consultants input, allowance made by ARC are purely indicative.
- Mechanical &/or natural ventilation may be required subject to fire consultant / specialist input.
- Commercial or standard sprinkler system may be required subject to fire consultants confirmation & specification (Large water holding tank maybe required in some situations can be subterranean).
- Basement structure should be considered with fire consultant & structural engineer to ensure increased fire protection due to presence or future potential of electric car charging facilities and associated increased risks.

**MATERIALS IN CLOSE PROXIMITY TO BOUNDARY:**

- SUITABLE MITIGATION MUST BE PROVIDED ( E.G FIRE PROOF GLAZING etc.) FOLLOWING EXTENSIVE BOUNDARY AND NOTIONAL BOUNDARY PROXIMITY CALCULATIONS BEING UNDERTAKEN BY SPECIALIST

**LEGEND**



**EXTERNAL WALLS:-**

**MATERIALS SCHEDULE:**

<b>EXTERNAL WALLS:-</b>	- STONE	- RENDER PAINTED WHITE
	- TIMBER EFFECT CLADDING	- METAL CLADDING
<b>BALCONIES:-</b>	- GLASS	- RAILINGS
<b>WINDOWS &amp; DOORS:-</b>	- GREY	
<b>ROOF:-</b>	- ZINC FASCIA	- SEDUM ROOFS

*Note: All materials to be confirmed by fire consultant prior to construction. The above material choices are for planning/aesthetic purposes only and confirmation of fire performance should be agreed with specialist. (fixing system behind cladding should also be non combustible A1 or A2 rated and agreed with fire consultant)*

F	Balconies reduced	17.12.24	AE
E	COMMENT REVISIONS	25.10.24	MC
D	Cycle store changes	12.09.24	TC
C	Planning consultant changes	27.06.24	TC
B	ARC checklist	06.03.24	TC
A	ARC checklist	16.02.24	TC

No.	Revision.	date	by

PROPOSED DEVELOPMENT,  
 PURBECK COURT,  
 BOSCOMBE OVERCLIFF DRIVE,  
 BOURNEMOUTH,  
 DORSET,  
 BH5 2EN

APARTMENT BLOCK -  
 ELEVATIONS 1 OF 2

scale	AS SHOWN @ A1	checked	CS / JTR
date	SEPTEMBER 2024	drawn	AE / TC

9753/205					
A	B	C	D	E	F

ARC Architecture Ltd.

Chapel Studios, 14 Purewell,  
 Christchurch, Dorset, BH23 1EP

Tel: +44 (0) 1202 479919  
 E-mail: enquires@andersrobertscheer.co.uk  
 Web: www.andersrobertscheer.co.uk



PROPOSED FRONT ELEVATION ( SOUTH )  
 SCALE: 1:100



PROPOSED SIDE ELEVATION 1 ( EAST )  
 SCALE: 1:100

1. The contents of this drawing are copyright.
  2. Planning drawings are only to be used for planning purposes & no reliance on compliance with Building Regulations should be assumed.
  3. Drawings must be read as a complete pack and not individually.
  4. Do not scale. Figured dimensions only to be used.
  5. Contractors must verify all dimensions and report any discrepancies before putting work in hand or making any shop drawings.
  6. All flat roofs to be fitted with a man safe system to satisfy CDM 2015 regulations unless written confirmation from Principle Designer/ Principle Contractor is provided to show alternative compliance has been sought and approved.
  7. Stair design to be independently checked by stair fabricator for regs. compliance and sizing, prior to construction ordering. Dimensions to be checked before fabrication.
  8. Macleannan waterproofing specialists (or similar company with relevant PI insurance) to be instructed and detail all basement waterproofing designs. -ARC carry no responsibility or PI cover for basement designs in terms of waterproofing or structure in any way.
  9. A design and risk assessment should form part of our drawing package. If you have not received this from us by post, email or collection please contact us for a copy before moving forward with the project.
  10. We take no responsibility for the depicted site ownership boundary. Clients must notify us if they feel the our plans do not accurately depict their ownership or area of control for planning purposes.
  11. We do not take responsibility for meeting minimum space as set out in Government Technical housing standards - nationally described space standards document.
  12. All Cladding & building attachments externally to be all A1 fire rated.
- FIRE:** We do NOT take any responsibility and do not carry any PI cover in relation to any matters relating to the safety. Part B building regulations, BS 9991 for fire or EWS1 and drawings in no way form a fire strategy report. All design details relating to Fire Safety are shown for indicative purposes only and should be read in conjunction with the latest version of the Appointed Fire Consultant Fire Strategy Document Report - all information contained in such a report supersedes ARC drawings in all aspects. No assumption of any responsibility is accepted. If you are unaware who the appointed fire consultant is or don't have a copy of the latest version of the report please contact arc in writing immediately.
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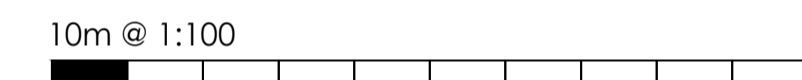
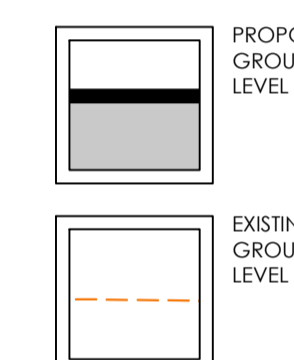
Windows forming the overwatering strategy with a change in floor level exceeding 600mm between inside and outside require 1m guarding (AFD O diagram 3.1).

**COMMERCIAL SPRINKLERS**  
A commercial sprinkler system may be required to the entire building subject to fire consultants confirmation. Commercial sprinklers require substantial holding tanks that need to be designed into the scheme (in some situations these can be subterranean).  
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**BASEMENT CAR PARKS OR STORAGE**  
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• Basement structure should be considered with fire consultant & structural engineer to ensure increased fire protection due to presence or future potential of electric car charging facilities and associated increased risks.

**MATERIALS IN CLOSE PROXIMITY TO BOUNDARY**  
• SUITABLE MITIGATION MUST BE PROVIDED (E.G FIRE PROOF GLAZING etc.) FOLLOWING EXTENSIVE BOUNDARY AND NOTIONAL LEGAL FIRE PROXIMITY CALCULATIONS BEING UNDERTAKEN BY SPECIALIST

**LEGEND**



**MATERIALS SCHEDULE:**

- EXTERNAL WALLS:-**
- .STONE
  - .RENDER PAINTED WHITE
  - .TIMBER EFFECT CLADDING
  - .METAL CLADDING
- BALCONIES:-**
- .GLASS
  - .RAILINGS
- WINDOWS & DOORS:-**
- .GREY
- ROOF:-**
- .ZINC FASCIA
  - .SEDUM ROOFS

**Note: All materials to be confirmed by fire consultant prior to construction. The above material choices are for planning/aesthetic purposes only and confirmation of fire performance should be agreed with specialist. (fining system behind cladding should also be non combustible A1 or A2 rated and agreed with fire consultant)**

G	Corrected elevation	10.11.25	TC
F	Balconies reduced	17.12.24	AE
E	COMMENT REVISIONS	25.10.24	MC
D	Cyclce store changes	12.09.24	TC
C	Planning consultant changes	27.06.24	TC
B	ARC checklist	06.03.24	TC
A	ARC checklist	16.02.24	TC

No.	Revision.	date	by
-----	-----------	------	----

PROPOSED DEVELOPMENT,  
PURBECK COURT,  
BOSCOMBE OVERCLIFF DRIVE,  
BOURNEMOUTH,  
DORSET,  
BH5 2EN

APARTMENT BLOCK -  
ELEVATIONS 2 OF 2

scale	AS SHOWN @ A1	checked	CS / JTR														
date	NOVEMBER 2025	drawn	AE / TC														
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A	B	C	D	E	F	G											

9753/206

ARC Architecture Ltd.

Chapel Studios, 14 Purewell,  
Christchurch, Dorset, BH23 1EP

Tel: +44 (0) 1202 479919  
E-mail: enquiries@andersrobertscheer.co.uk  
Web: www.andersrobertscheer.co.uk



PROPOSED REAR ELEVATION ( NORTH )  
SCALE: 1:100



PROPOSED SIDE 2 ELEVATION ( WEST )  
SCALE: 1:100

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- Planning drawings are only to be used for planning purposes & no reliance on compliance with Building regulations should be assumed.
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- We take no responsibility for the specific site ownership boundary. Clients must notify us if they feel the our plans do not accurately depict their ownership or area of control for planning purposes.
- We do not take responsibility for meeting minimum space as set out in Government Technical housing standards - nationally described space standards document.
- All Cladding & building attachments externally to be all A1 fire rated.
- WE DO NOT take any responsibility and do not carry any PI cover in relation to any matters relating to fire safety. Part B buildings regulations, BS 9991 for fire or EWST and drawings in no way form a fire strategy/ report. All design details relating to Fire Safety are shown for indicative purposes only and should be read in conjunction with the latest version of the Appointed Fire Consultant Fire Strategy Document/ Report - all information contained in such a report supersedes ARC drawings in all aspects. No assumption of any responsibility is accepted. If you are unaware who the appointed fire consultant is or don't have a copy of the latest version of the report please contact arc in writing immediately.
- EWST: an independent and an appropriately qualified and insured fire consultant/engineer should be appointed by the client/contractor to ensure the finished project is compliant. Some mortgage companies require EWST's on buildings outside of the EWST standard criteria.
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Windows forming the overhanging strategy with a change in floor level exceeding 600mm between inside and outside require 1.1m guarding (APD O diagram 3.1).

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**MATERIALS IN CLOSE PROXIMITY TO BOUNDARY**

- SUITABLE MITIGATION MUST BE PROVIDED (E.G. FIRE PROOF GLAZING etc.) FOLLOWING EXTENSIVE BOUNDARY AND NOTIONAL BOUNDARY PROXIMITY CALCULATIONS BEING UNDERTAKEN BY SPECIALIST

**LEGEND**

10m @ 1:100

**MATERIALS SCHEDULE:**

EXTERNAL WALLS:- .STONE

WINDOWS & DOORS:- .GREY

ROOF:- .ZINC FASCIA  
.SEDUM ROOF

*Note: All materials to be confirmed by fire consultant prior to construction. The above material choices are for planning/aesthetic purposes only and confirmation of fire performance should be agreed with specialist. (fixing system behind cladding should also be non combustible A1 or A2 rated and agreed with fire consultant)*

D	Cycle store changes	12.09.24	TC
C	Planning consultant changes	27.06.24	TC
B	ARC checklist	06.03.24	TC
A	ARC checklist	16.02.24	TC

No.	Revision.	date	by
-----	-----------	------	----

PROPOSED DEVELOPMENT,  
PURBECK COURT,  
BOSCOMBE OVERCLIFF DRIVE,  
BOURNEMOUTH,  
DORSET,  
BH5 2EN

PROPOSED OUTBUILDINGS PLANS AND ELEVATIONS

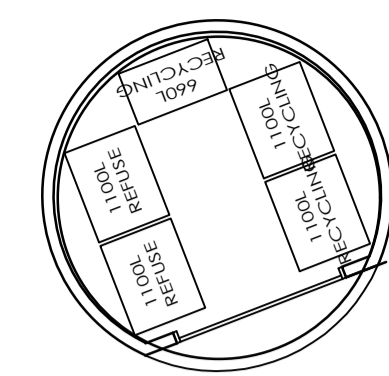
scale	AS SHOWN @ A1	checked	CS / JTR
date	SEPTEMBER 2024	drawn	AE / TC

9753/207			
A	B	C	D

ARC Architecture Ltd.

Chapel Studios, 14 Purewell,  
Christchurch, Dorset, BH23 1EP

Tel: +44 (0) 1202 479919  
E-mail: enquiries@andersrobertscheer.co.uk  
Web: www.andersrobertscheer.co.uk



PROPOSED INDICATIVE FLOORPLAN SCALE 1:100

INDICATIVE BIN STORE



PROPOSED INDICATIVE FRONT ELEVATION SCALE 1:100



PROPOSED INDICATIVE SIDE ELEVATION 1 SCALE 1:100

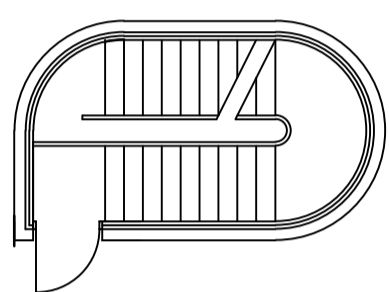


PROPOSED INDICATIVE REAR ELEVATION SCALE 1:100



PROPOSED INDICATIVE SIDE ELEVATION 2 SCALE 1:100

GROSS INTERNAL AREA		
	SQM	SQFT
FLOOR PLAN	13	140



PROPOSED FLOORPLAN SCALE 1:100

STAIR CORE FLOORPLAN



PROPOSED SOUTH ELEVATION SCALE 1:100



PROPOSED EAST ELEVATION SCALE 1:100

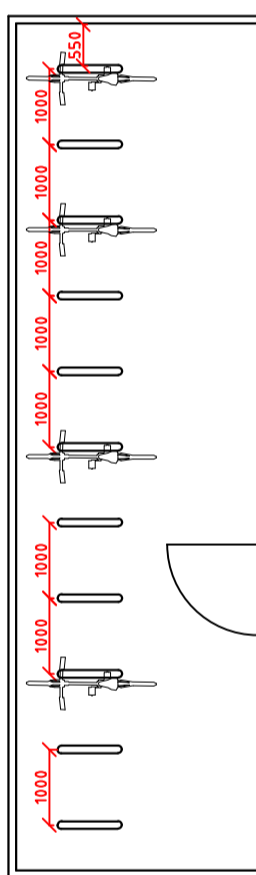


PROPOSED NORTH ELEVATION SCALE 1:100



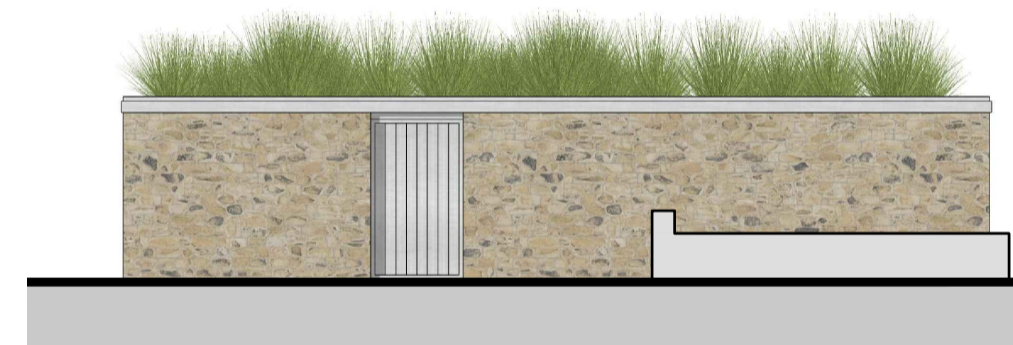
PROPOSED WEST ELEVATION SCALE 1:100

GROSS INTERNAL AREA		
	SQM	SQFT
FLOOR PLAN	9	97



FLOORPLAN SCALE 1:100

CYCLE STORE 1



PROPOSED EAST ELEVATION SCALE 1:100



PROPOSED NORTH ELEVATION SCALE 1:100

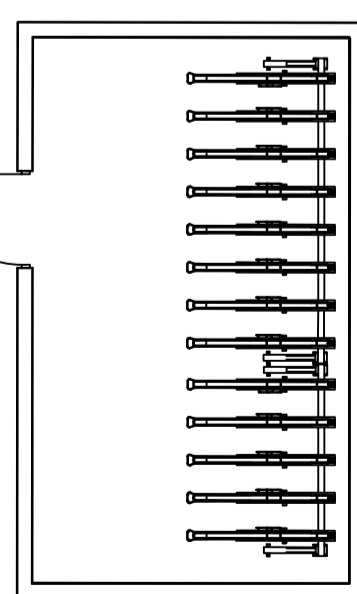


PROPOSED WEST ELEVATION SCALE 1:100



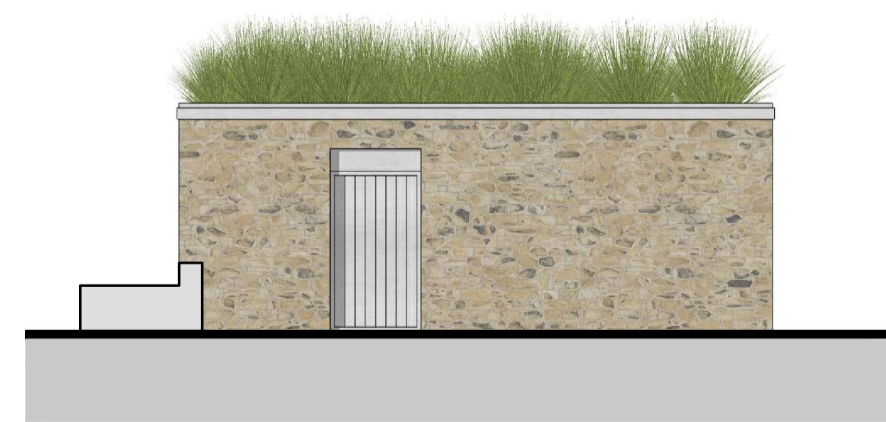
PROPOSED SOUTH ELEVATION SCALE 1:100

GROSS INTERNAL AREA		
	SQM	SQFT
FLOOR PLAN	34	366



FLOORPLAN SCALE 1:100

CYCLE STORE 2



PROPOSED WEST ELEVATION SCALE 1:100



PROPOSED SOUTH ELEVATION SCALE 1:100



PROPOSED EAST ELEVATION SCALE 1:100



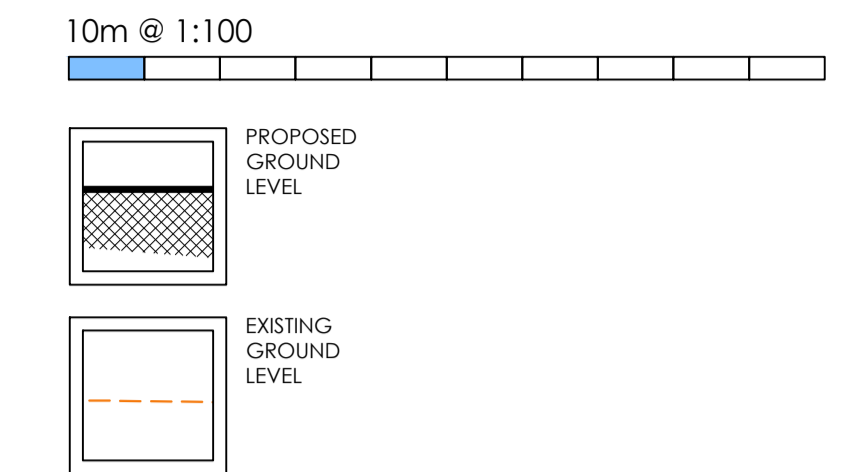
PROPOSED NORTH ELEVATION SCALE 1:100

GROSS INTERNAL AREA		
	SQM	SQFT
FLOOR PLAN	35	375



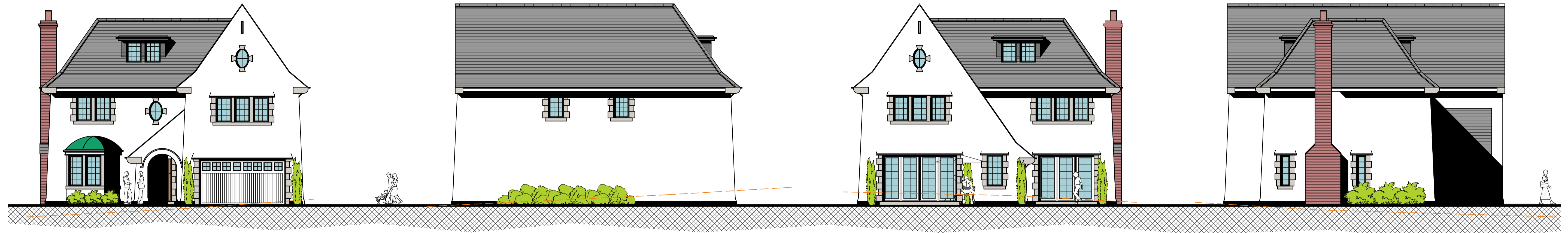
**MATERIALS IN CLOSE PROXIMITY TO BOUNDARY**

- SUITABLE MITIGATION MUST BE PROVIDED (E.G. FIRE PROOF GLAZING etc.) FOLLOWING EXTENSIVE BOUNDARY AND NOTIONAL BOUNDARY PROXIMITY CALCULATIONS BEING UNDERTAKEN BY SPECIALIST

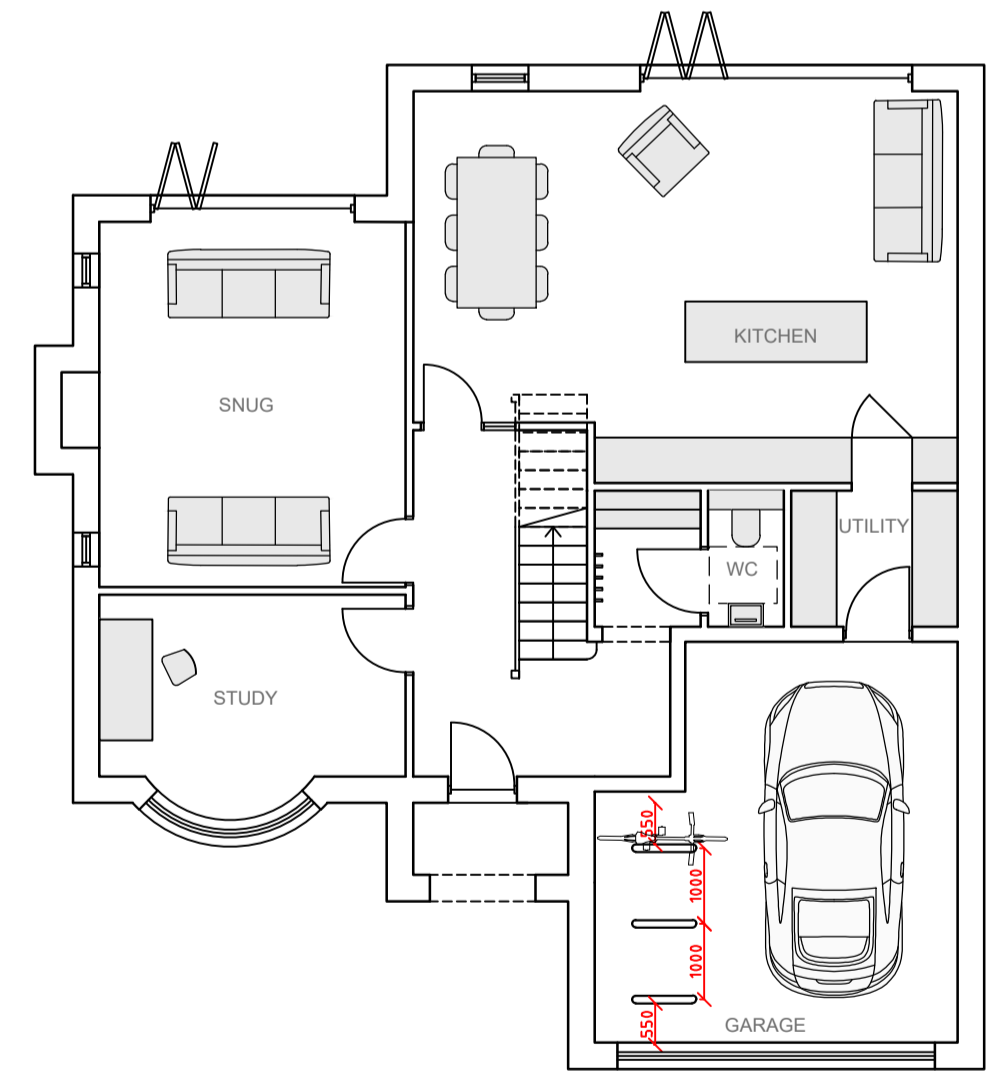


**NOTES-PLANNING** rev-27-03-23

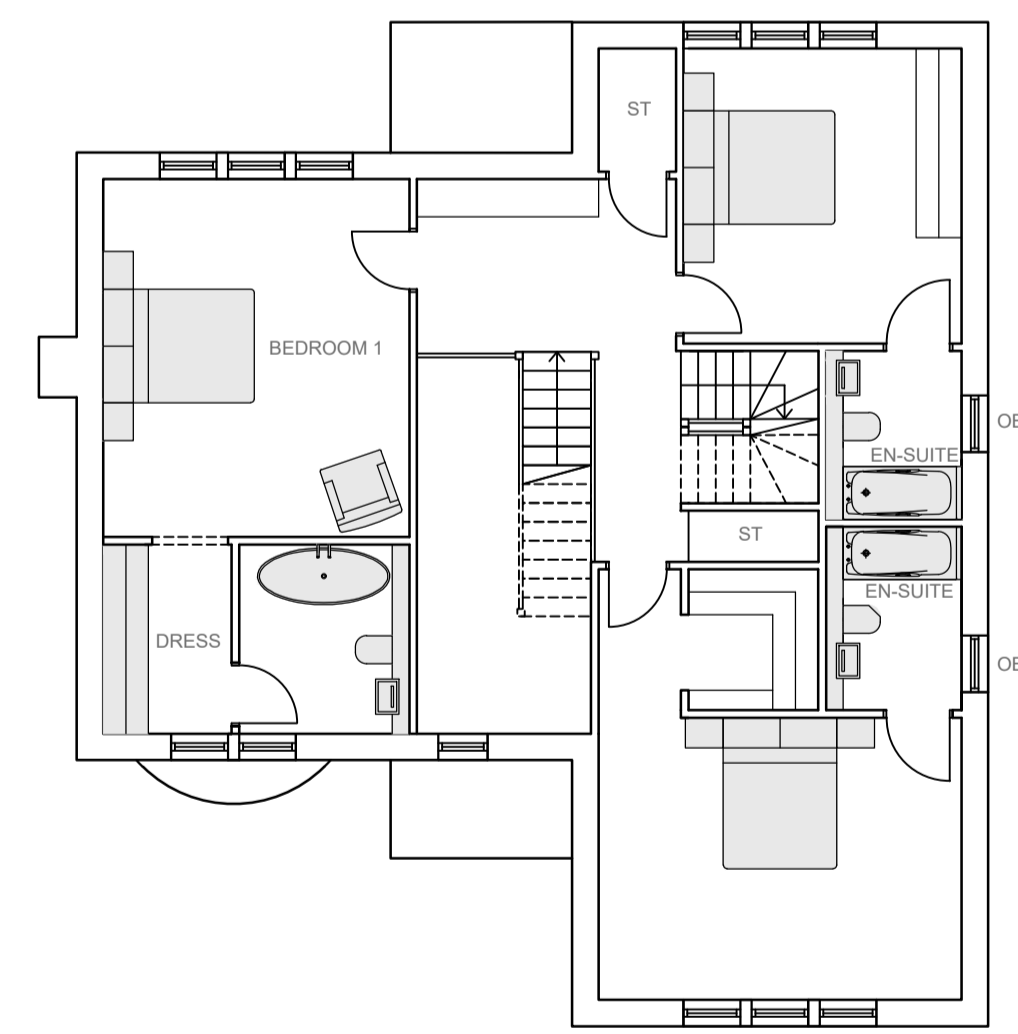
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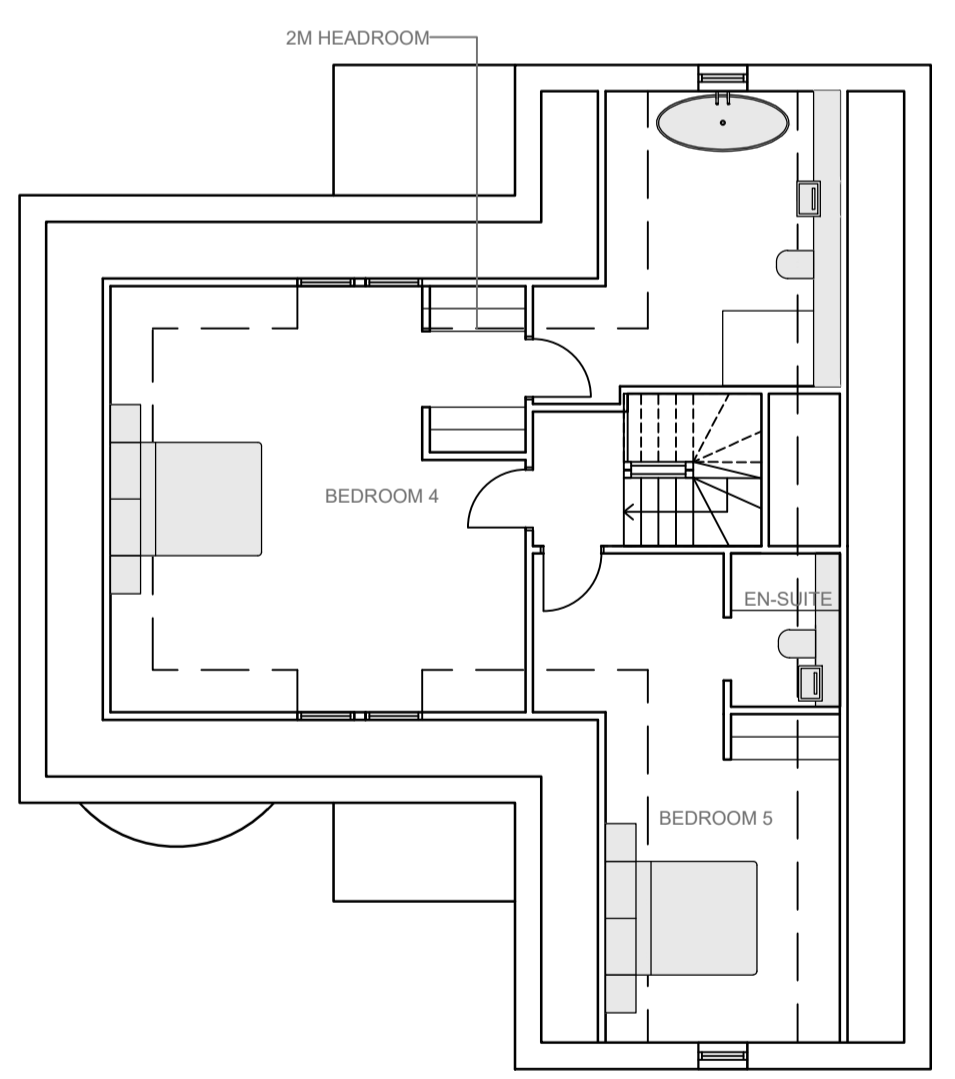
NORTH ELEVATION SCALE: 1:100      WEST ELEVATION SCALE: 1:100      SOUTH ELEVATION SCALE: 1:100      EAST ELEVATION SCALE: 1:100



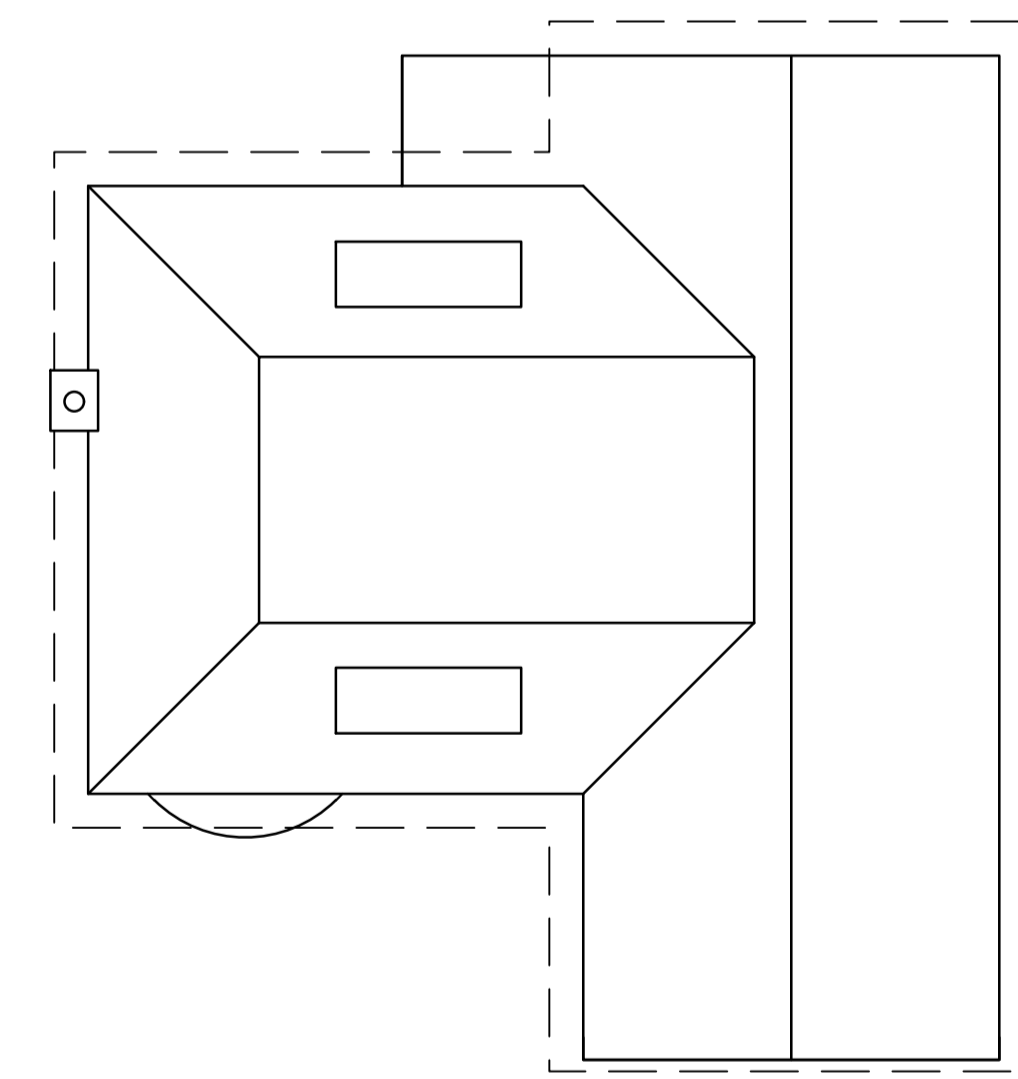
GROUND FLOOR PLAN SCALE: 1:100



FIRST FLOOR PLAN SCALE: 1:100



UPPER FLOOR PLAN SCALE: 1:100



ROOF PLAN SCALE: 1:100

5 BEDROOM HOUSE inc garage area and bike store  
@: 304 SQM / 3272 SQFT

**MATERIALS SCHEDULE:**

<b>EXTERNAL WALLS:-</b>	RENDER PAINTED WHITE
	ENGINEERING BRICK BASE
	RED BRICK CHIMNEY
<b>WINDOWS &amp; DOORS:-</b>	TBC
<b>ROOF:-</b>	SLATE EFFECT TILES
	COPPER ROOF TO BAY WINDOW

*Note: All materials to be confirmed by fire consultant prior to construction. The above material choices are for planning/aesthetic purposes only and confirmation of fire performance should be agreed with specialist. (fixing system behind cladding should also be non combustible A1 or A2 rated and agreed with fire consultant)*

C	ARC checklist	15.03.24	TC
B	ARC checklist	06.03.24	TC
A	ARC checklist	16.02.24	TC

No.	Revision.	date	by

PROPOSED DEVELOPMENT,  
PURBECK COURT,  
BOSCOMBE OVERCLIFF DRIVE,  
BOURNEMOUTH,  
DORSET,  
BH5 2EN

HOUSE UNIT:  
PROPOSED FLOOR PLANS & ELEVATIONS

scale	AS SHOWN @ A1	checked	CS / JTR
date	MARCH 2024	drawn	JA

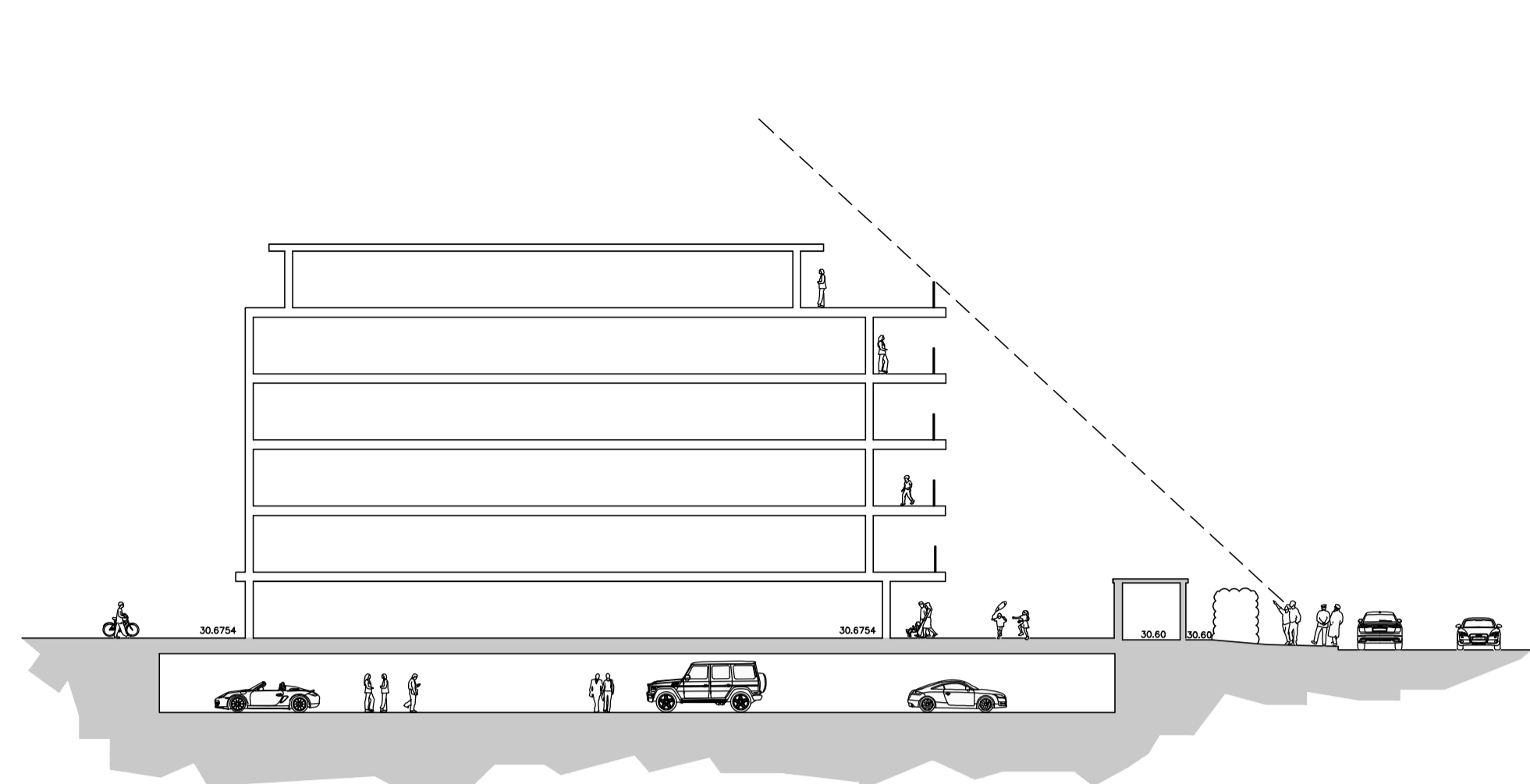
9753/208

ARC Architecture Ltd.

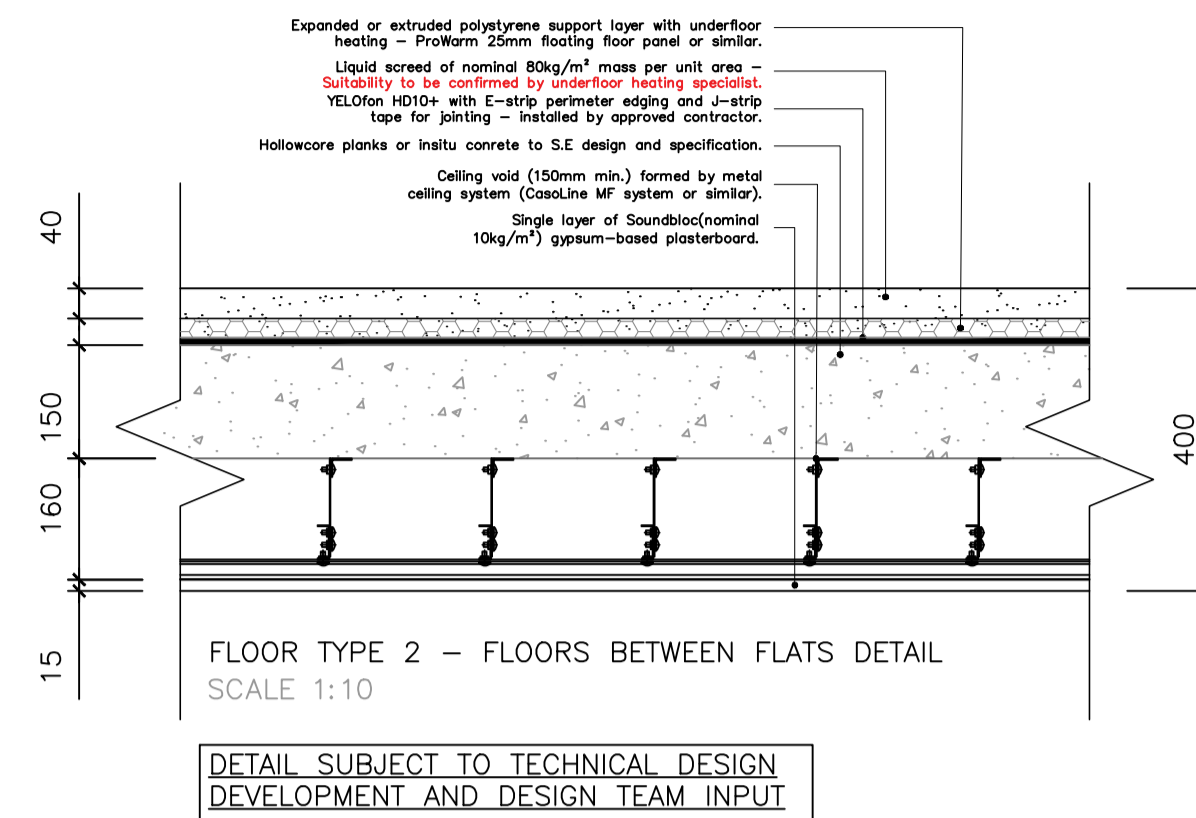
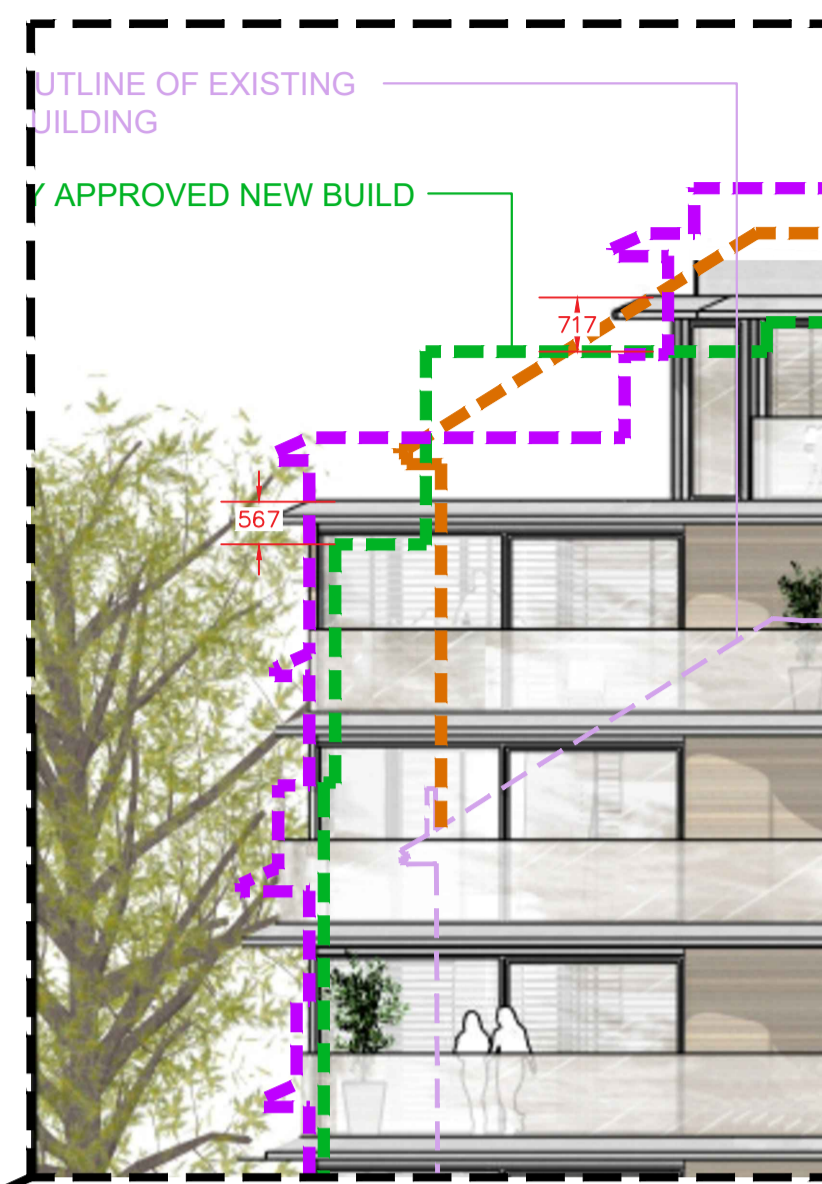
Chapel Studios, 14 Purewell,  
Christchurch, Dorset, BH23 1EP

Tel: +44 (0) 1202 479919  
E-mail: enquiries@andersrobertscheer.co.uk  
Web: www.andersrobertscheer.co.uk





PROPOSED SITE SECTION: ( FOR INDICATIVE PURPOSES ONLY )  
SCALE: 1:250



DETAIL SUBJECT TO TECHNICAL DESIGN  
DEVELOPMENT AND DESIGN TEAM INPUT

**COMMERCIAL SPRINKLERS**  
A commercial sprinkler system may be required to the entire building subject to fire consultants confirmation. Commercial sprinklers require substantial holding tanks that need to be designed into the scheme (in some situations these can be subterranean tanks). - client should appoint a qualified Fire Consultant as soon as possible to confirm requirements, spec and constraints.

**BASEMENT CAR PARKS OR STORAGE**

- Additional means of escape/evacuation (stairs / lifts / ramps) may be required subject to Fire Consultants input, allowance made by ARC are purely indicative.
- Mechanical &/or natural ventilation may be required subject to fire consultant / specialist input.
- Commercial or standard sprinkler system may be required subject to fire consultants confirmation & specification (Large water holding tank maybe required in some situations can be subterranean).
- Basement structure should be considered with fire consultant & structural engineer to ensure increased fire protection due to presence or future potential of electric car charging facilities and associated increased risks.

**MATERIALS IN CLOSE PROXIMITY TO BOUNDARY**

- SUITABLE MITIGATION MUST BE PROVIDED ( E.G FIRE PROOF GLAZING etc ) FOLLOWING EXTENSIVE BOUNDARY AND NOTIONAL BOUNDARY PROXIMITY CALCULATIONS BEING UNDERTAKEN BY SPECIALIST

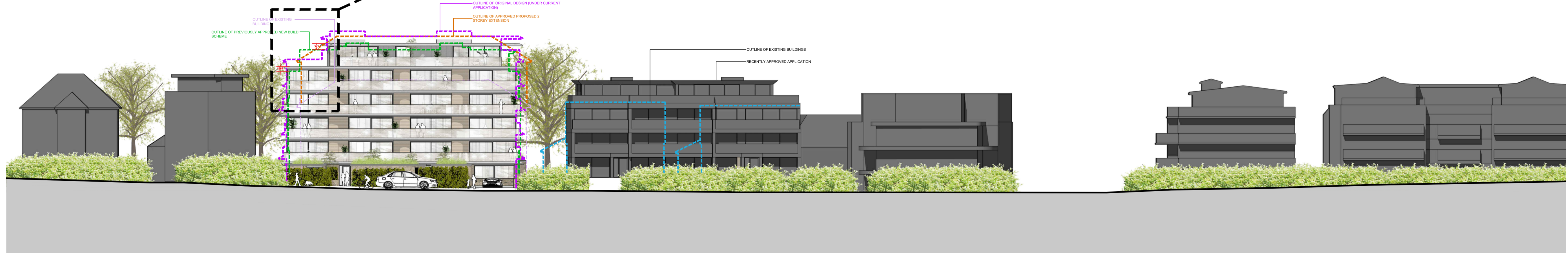
**LEGEND**



**NOTES-PLANNING** rev-30-07-24

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- Stair design to be independently checked by stair fabricator for regs. compliance and sizing, prior to construction ordering. Dimensions to be checked before fabrication.
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- We do not take responsibility for meeting minimum space as set out in Government Technical housing standards - nationally described space standards document.
- All Cladding & building attachments externally to be all A1 fire rated.
- WE DO NOT take any responsibility and do not carry any PI cover in relation to any matters relating to the safety Part B building regulations, BS 5959 for fire or EWS1 and drawings in no way form a fire strategy document. All design details relating to Fire Safety are shown for indicative purposes only and should be read in conjunction with the latest version of the Appointed Fire Consultant Fire Strategy Document/ Report - all information contained in such a report supersedes ARC drawings in all aspects. No assumption of any responsibility is accepted. If you are unaware who the appointed fire consultant is or don't have a copy of the latest version of the report please contact arc in writing immediately.
- EWS1: an independent and an appropriately qualified and insured fire consultant/engineer should be appointed by the client/contractor to ensure the finished project is compliant. Some mortgage companies require EWS1s on buildings outside of the EWS1 standard criteria.
- Part B & Fire Safety: An independent and appropriately qualified fire consultant should be instructed by the client/contractor at the earliest possible point in the design process to ensure compliance with Part B & Fire safety. Please note that subject to a fire consultants confirmation the following points may be required in some or all areas of the building: 1) Sprinkler systems (Domestic or commercial) 2) Mechanical smoke extraction 3) Fixed shut fire safety glass 4) some sprinkler systems require large holding tanks 5) plan changes in relation to fire safety could result in loss of salable floor area and potential requirement for additional planning applications. (this list is not exhaustive)

Windows forming the overhauling strategy with a change in floor level exceeding 600mm between inside and outside require 1.1m guarding (APD O Diagram 3.1)



PROPOSED STREET SCENE: BOSCOMBE OVERCLIFF DRIVE ( FOR INDICATIVE PURPOSES ONLY )  
SCALE: 1:250

**DESIGNERS RISK ASSESSMENT**

Building Products and Construction Execution Hazards

The design team have highlighted unusual and significant risks only that may not be obvious to a competent contractor. They are to assist with risk reduction only and are not necessarily comprehensive. It is assumed that all works will be carried out by a competent contractor following good site management, site practice procedures, to an approved method statement (where appropriate) and in accordance with HSE guidance.

The proposed works are designed on a well established method of construction which can be carried out by a competent contractor. However, should the contractor find any area of concern he must inform the designer in order that appropriate action can be taken.

For significant hazards specific to this project see the following:

**GENERAL NOTES:**

- Principal Contractor to provide method statements for the safe working practice for: demolition, excavations, cutting of materials, support of adjacent structures, protecting personnel, neighbours & the public, working at height including crash bags & fall restraint systems.
- Principal Contractor to ensure Temporary Works Designer and Coordinator appointed for all propping works for structural alterations of existing building, including temporary guardrail and edge protection around voids and stairwells.
- This Designers Risk Assessment should be passed on to the Appointed Principal Designers and or Principal Contractor carrying out the next phase of works on this site.

INFORMATION	CONSTRUCTION RISKS	PLACEMENT OF ROOF FEATURES (SOLAR PANELS / AOV'S / PLANT ETC)	MINIMUM FIRE & EMERGENCY EXPECTATIONS - FIRE RISK	MAINTENANCE RISKS	IN - USE RISKS
<p><b>PRE-CONSTRUCTION INFO FROM CLIENT</b></p> <p>Information received from client:</p> <ol style="list-style-type: none"> <li>Topographical Survey</li> </ol> <p>Outstanding information remains as residual risk, please request ARC appendix C for full list requested...</p> <p><b>DESIGN INFO</b></p> <p>Further design info to be provided at subsequent stages of design / building regulations process</p> <p><b>DEMOLITION RISKS</b></p> <p><b>REFURBISHMENT AND DEMOLITION SURVEY</b></p> <p>Hazardous material survey to be undertaken prior to any on site works commencing - including stripping out.</p> <p><b>EXISTING WALLS OR PARTS OF BUILDINGS TO BE DEMOLISHED OR CONVERTED</b></p> <p>Structural engineer to produce calculations and final design solution and consider with Principal contractor methods of temporary support / shoring up during construction - prior to any on site works commencing - including stripping out.</p>	<p><b>PROPOSED BUILDING IN CLOSE PROXIMITY TO BOUNDARY</b></p> <ul style="list-style-type: none"> <li>WORKING AT HEIGHT</li> <li>CONSTRUCTION ACCESS</li> <li>LARGE / HEAVY GLAZING UNITS</li> </ul> <p>* Safe construction method to be considered by Principal Contractor within Construction Phase Plan, pre-construction works starting on site.</p> <p><b>MAINTAINING STRUCTURAL SUPPORT TO BOUNDARIES WHERE LEVELS DIFFER WITHIN ADJACENT OWNERSHIP / PUBLIC LAND / HIGHWAYS</b></p> <p>Safe construction method to be considered by Principal Contractor within Construction Phase Plan, pre-construction works starting on site, in conjunction with structural engineer</p> <p><b>PLACEMENT OF SUDS</b></p> <p>When positioning heavy machinery - The layout of the proposed SUDS plan should be considered by the Principal Contractor during the construction phase plan</p> <p><b>FLAT ROOF ACCESS</b></p> <p>Permanent roof balustrades at a distance from edges should be installed to prevent falling. Roof access for construction to be undertaken by specialist using specialist equipment, e.g. scaffolding, appropriately designed and installed man safe system by specialist designer where balustrades are not feasible.</p>	<p>Positioning of roof features to be as remote from edge of building as possible</p> <p><b>GLAZING IN CLOSE PROXIMITY TO BOUNDARY</b></p> <p>Self cleaning glass to be specified where possible</p> <p><b>COMBUSTIBLE MATERIALS - FIRE RISK</b></p> <p>Any combustible materials exposed in close proximity to a boundary are to be suitably protected to fire consultant requirement during construction and in use as per the "Pre Construction External Fire Spread Assessment". Works to be identified in the construction phase plan (Where EWS1 is required an appropriately qualified and insured consultant should be appointed to advise on external facade materials).</p> <p><b>ARBORICULTURAL METHOD STATEMENT</b></p> <p>There is an approved arboricultural method statement for this project that must be followed</p> <p><b>SOLAR PANELS</b></p> <p>Solar panels to be positioned as far from edges of flat roof as feasibility possible.</p>	<p>Principal contractor to comply with HSG158 Fire Safety in construction and undertake a fire risk assessment for the duration of the works including (but not limited to):</p> <ul style="list-style-type: none"> <li>Lighting</li> <li>Escape</li> <li>Alarm</li> <li>Temporary protection</li> <li>Remote area access</li> </ul> <p><b>TEMPORARY GUARDING</b></p> <p>To be installed during construction to prevent falling on existing uneven and stepped terrain</p> <p><b>UNKNOWN UNDERGROUND SERVICES</b></p> <p>Location and nature of all existing underground services to be ascertained and mitigation / plan of works to be devised by specialist prior to commencement.</p>	<p><b>*** SOLAR PANELS</b></p> <p><b>*** PLANT / SERVICE AREAS</b></p> <p><b>*** ACCESS TO AOV'S</b></p> <p>Maintenance to be undertaken by specialist using specialist equipment, e.g. permanent 950mm guarding / scaffolding / appropriately designed and installed man safe system by specialist designer.</p> <p><b>CHANGING LIGHT BULBS</b></p> <p>No lighting or electrical fixtures or fittings to be positioned above or close to double height space.</p> <p><b>CLEANING WINDOWS</b></p> <p>Windows and balcony glass above ground floor level to be cleaned from ground level by specialist using specialist equipment, e.g. long reach and clean systems.</p> <p>Sliding glazing to balcony's can be cleaned from balcony</p> <p><b>CLEANING GUTTERS</b></p> <p>Gutters to be cleaned from ground level by specialist using specialist equipment, e.g. long reach and clean systems where possible. Parapets and valleys to be accessed when required via scaffolding - to be assembled by a specialist.</p> <p><b>STAINING TIMBERS</b></p> <p>Low maintenance imitation cladding to be specified to avoid high level maintenance.</p> <p><b>FLAT ROOF ACCESS</b></p> <p>Roof access for maintenance to be undertaken by specialist using specialist equipment, e.g. permanent 950mm guarding / scaffolding / appropriately designed and installed man safe system by specialist designer.</p>	<p><b>SLIPPERY FLOORS (swimming pools / roof terraces)</b></p> <p>Non slip floors to be specified</p> <p><b>PEDESTRIAN MOVEMENT</b></p> <p>Bollards / Vehicular barriers to be installed at defined locations - TBC by specialist design and manufacturer</p> <p><b>ACCESS INTO CAR PARK</b></p> <p>Fireproof Vision panels to be installed, allowing user to view car park before walking out into vehicular traffic movement</p> <p><b>DELIVERIES</b></p> <p>Safe delivery plan and schedule to be designed by inhabiting organisation</p> <p><b>ROOF TERRACE</b></p> <p>Mains Fire alarm system to have siren at roof terrace level to alert persons of potential fire in the building below.</p> <p><b>GAS PRESENCE</b></p> <p>Potential for presence of Gas (various types) to be investigated. If present, specialist to provide design to negate.</p> <p><b>CAR PARKING</b></p> <p>Highlight columns in the carpark with reflective paint to prevent accidents during reverse maneuvers.</p> <p><b>BASEMENTS</b></p> <p>Basement design fire engineering strategy to be provided by qualified fire engineer with a view to compliance with part B, e.g. - Mains Fire alarm system to have siren within basement to alert persons of potential fire in the house above. Sprinkler system may be required, etc.</p> <p><b>EXTERNAL GUARDING</b></p> <p>To be designed at regs stage across site at different garden / external staircase levels to prevent falling</p> <p>1100mm guarding to be provided for any level difference greater than 600mm to prevent falling.</p> <p><b>SMOKE SHAFT MAINTENANCE</b></p> <p>Safety grills to be provided within smoke shaft at each vent for internal maintenance. Ensure free venting area is still maintained.</p> <p><b>END USER GUIDANCE FOR FUTURE WORKS</b></p> <p>End user manual to ensure an awareness of any construction that must not be breached i.e. fire line to metal or timber frame buildings, in the event of future building works.</p>

This DRA is not exhaustive. Further items to be added subject to detail design.

G	Balconies reduced	17.12.24	AE
F	ADDITIONAL INFORMATION ADDED	20.11.24	AE
E	COMMENT REVISIONS	25.10.24	MC
D	Street scene changes and section added	11.10.24	TC
C	Cycle store changes	12.09.24	TC
B	Planning consultant changes	27.06.24	TC
A	ARC checklist	16.02.24	TC

**PROPOSED DEVELOPMENT, PURBECK COURT, BOSCOMBE OVERCLIFF DRIVE, BOURNEMOUTH, DORSET, BH5 2EN**

**PROPOSED INDICATIVE STREET SCENE AND DESIGNERS RISK ASSESSMENT**

scale	AS SHOWN @ A1	checked	CS / JTR
date	OCTOBER 2024	drawn	AE / TC

**9753/209**

**ARC Architecture Ltd.**

Chapel Studios, 14 Purewell, Christchurch, Dorset, BH23 1EP

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E-mail: enquiries@andersrobertscheer.co.uk  
Web: www.andersrobertscheer.co.uk



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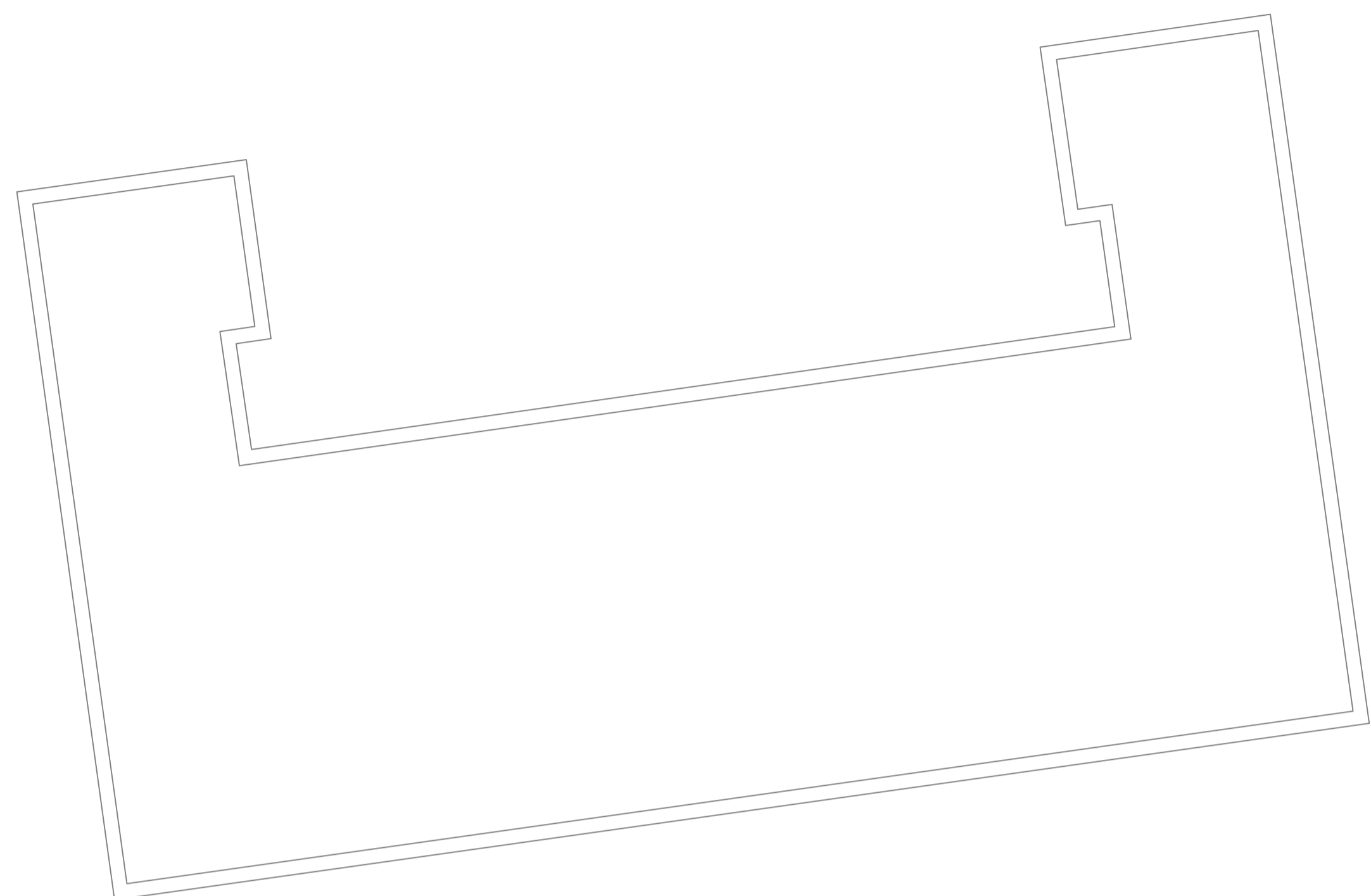
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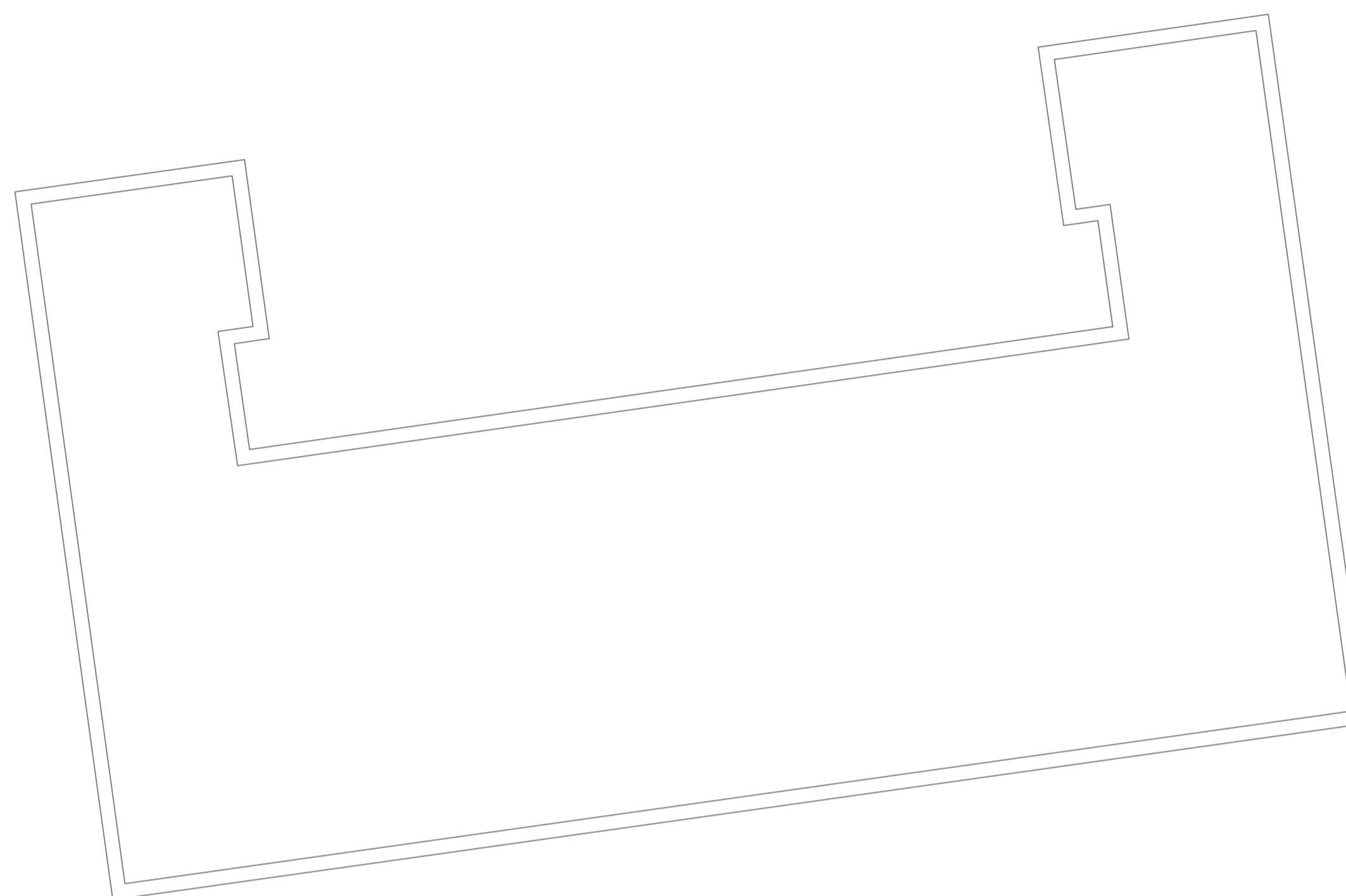
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LEGEND

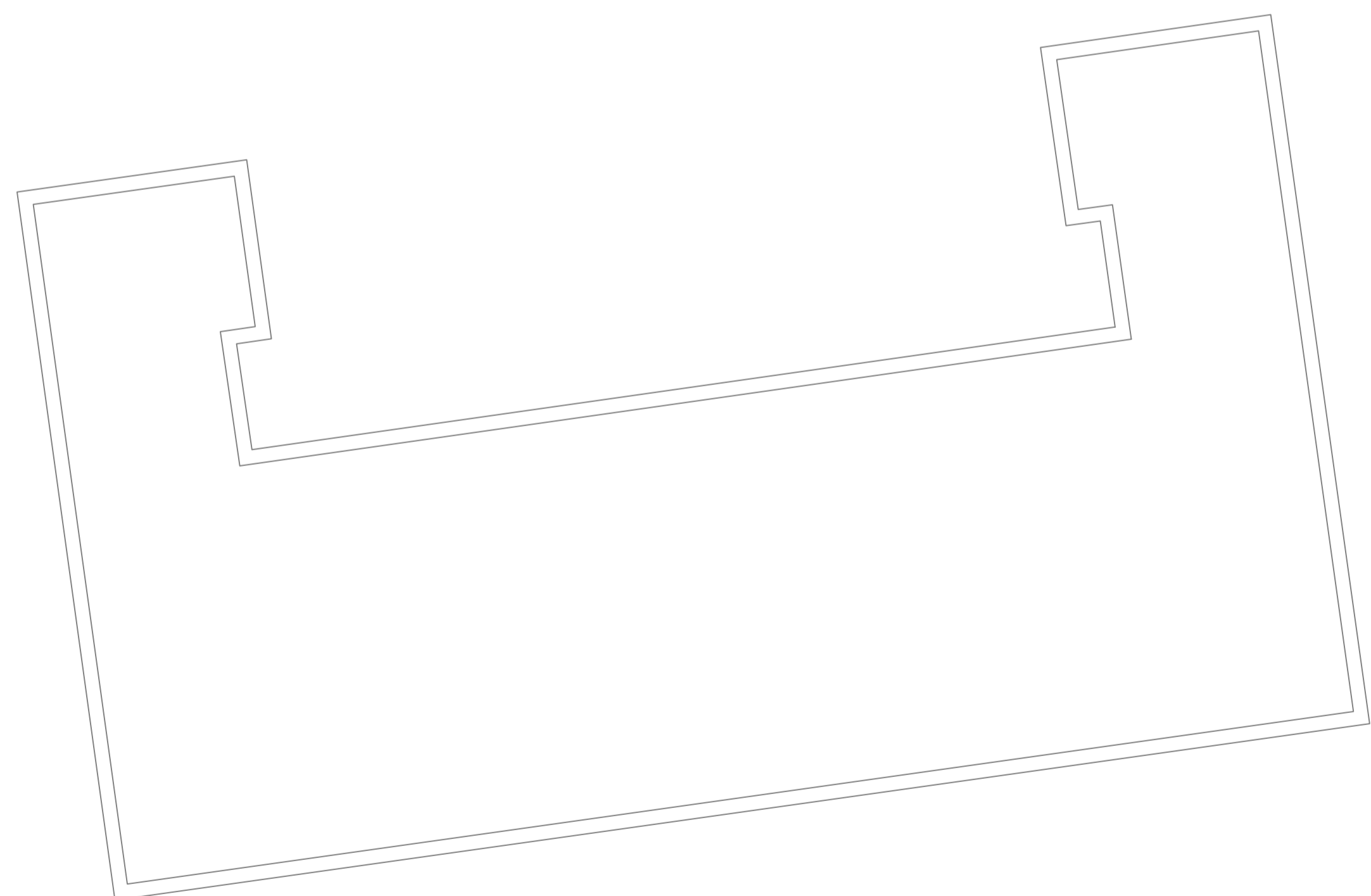
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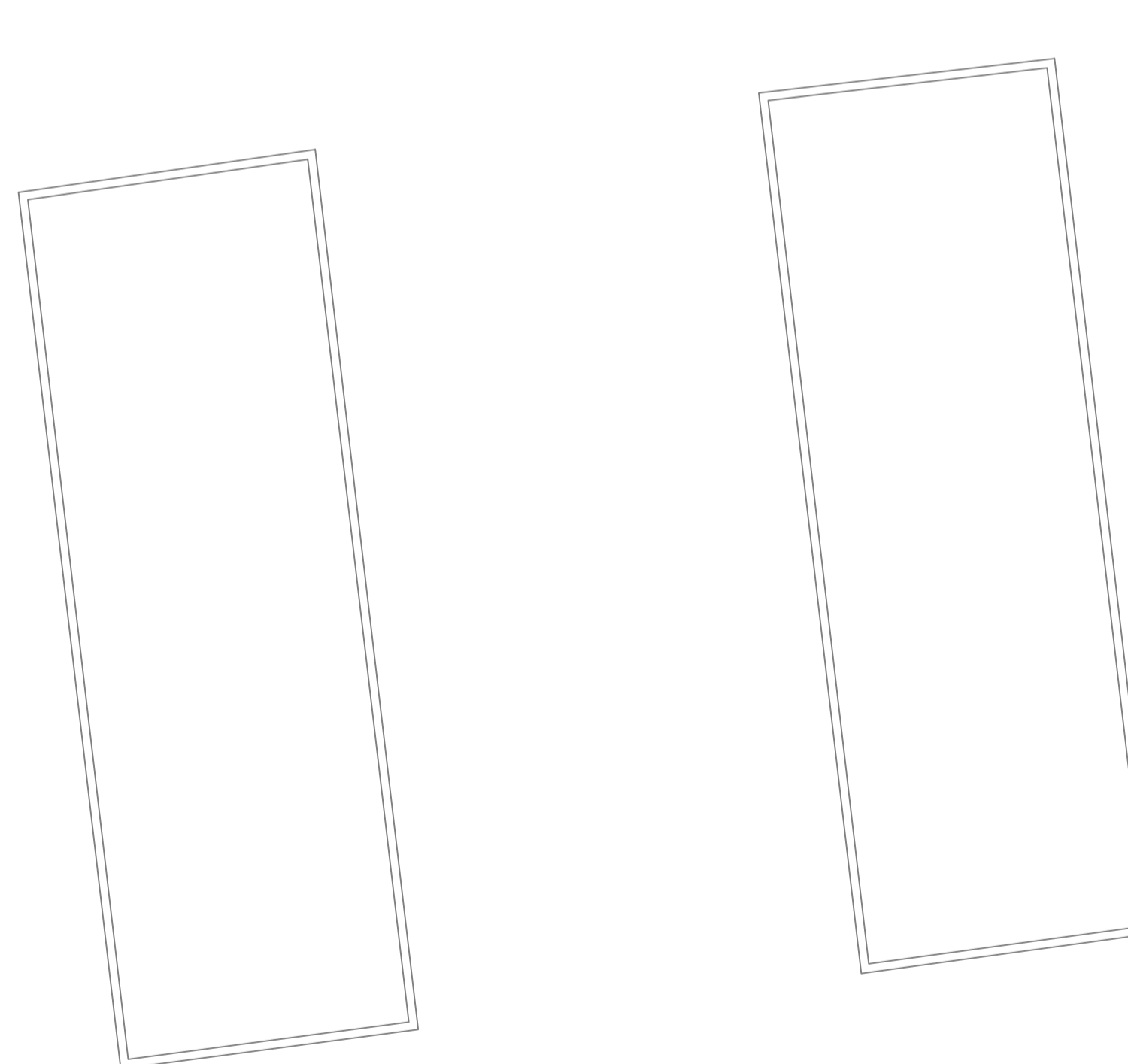
GROUND FLOOR PLAN:  
SCALE: 1:100



1ST FLOOR PLAN:  
SCALE: 1:100



UPPER FLOOR PLAN:  
SCALE: 1:100



GARAGE FLOOR PLAN:  
SCALE: 1:100

EXISTING GIA - 937 SQ.M / 10085 SQ.FT

A ARC checklist 16.02.24 TC

No.	Revision.	date	by

PROPOSED DEVELOPMENT,  
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EXISTING FLOOR PLANS

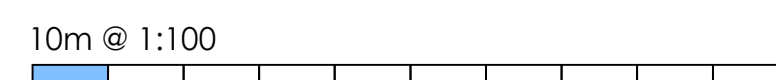
scale	AS SHOWN @ A1	checked	CS / JTR
date	FEBRUARY 2024	drawn	AE / TC

9753/210	A						

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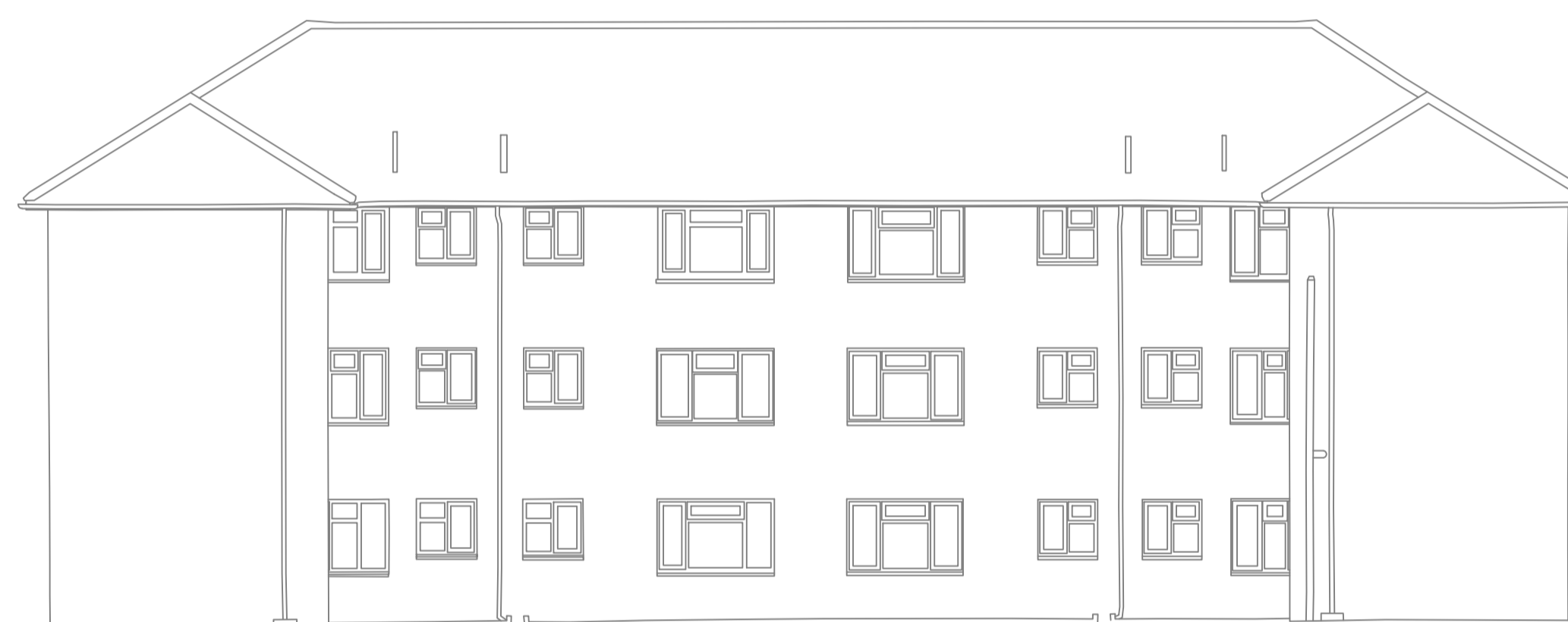
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SCALE: 1:100



EAST ELEVATION:  
SCALE: 1:100



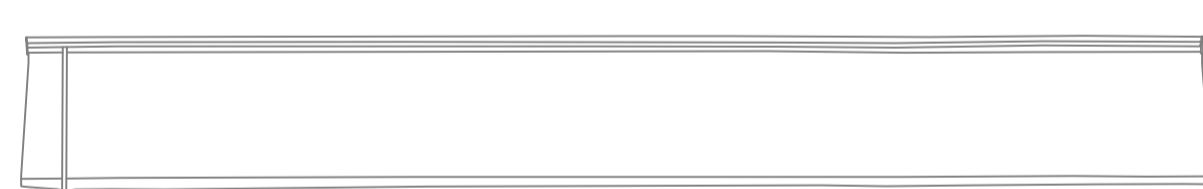
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SCALE: 1:100



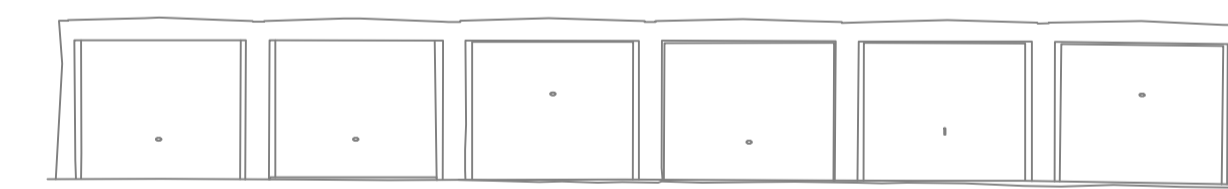
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SCALE: 1:100



GARAGES SOUTH ELEVATION:  
SCALE: 1:100



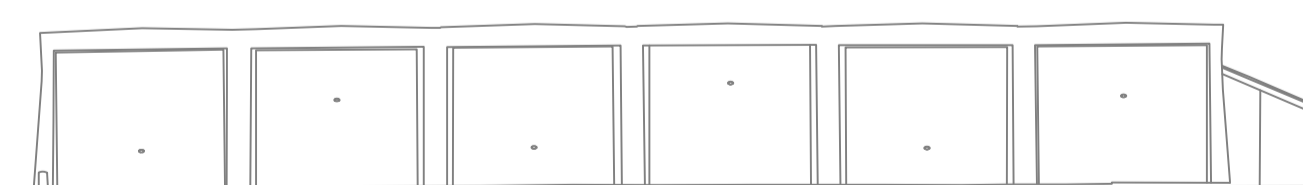
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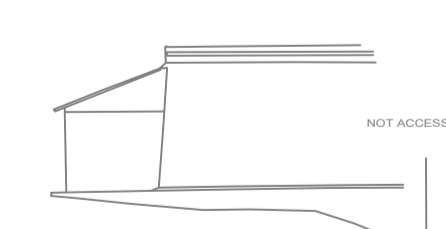
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SCALE: 1:100



GARAGES NORTH ELEVATION:  
SCALE: 1:100



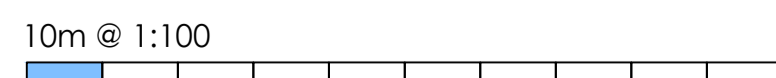
EAST GARAGE BLOCK WEST ELEVATION:  
SCALE: 1:100



EAST GARAGE BLOCK EAST ELEVATION:  
SCALE: 1:100

LEGEND

10m @ 1:100



No.	Revision.	date	by
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PROPOSED DEVELOPMENT,  
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BH5 2EN

EXISTING ELEVATIONS

scale	AS SHOWN @ A1	checked
date	JANUARY 2024	drawn AE / TC
9753/211		

ARC Architecture Ltd.

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Christchurch, Dorset, BH23 1EP

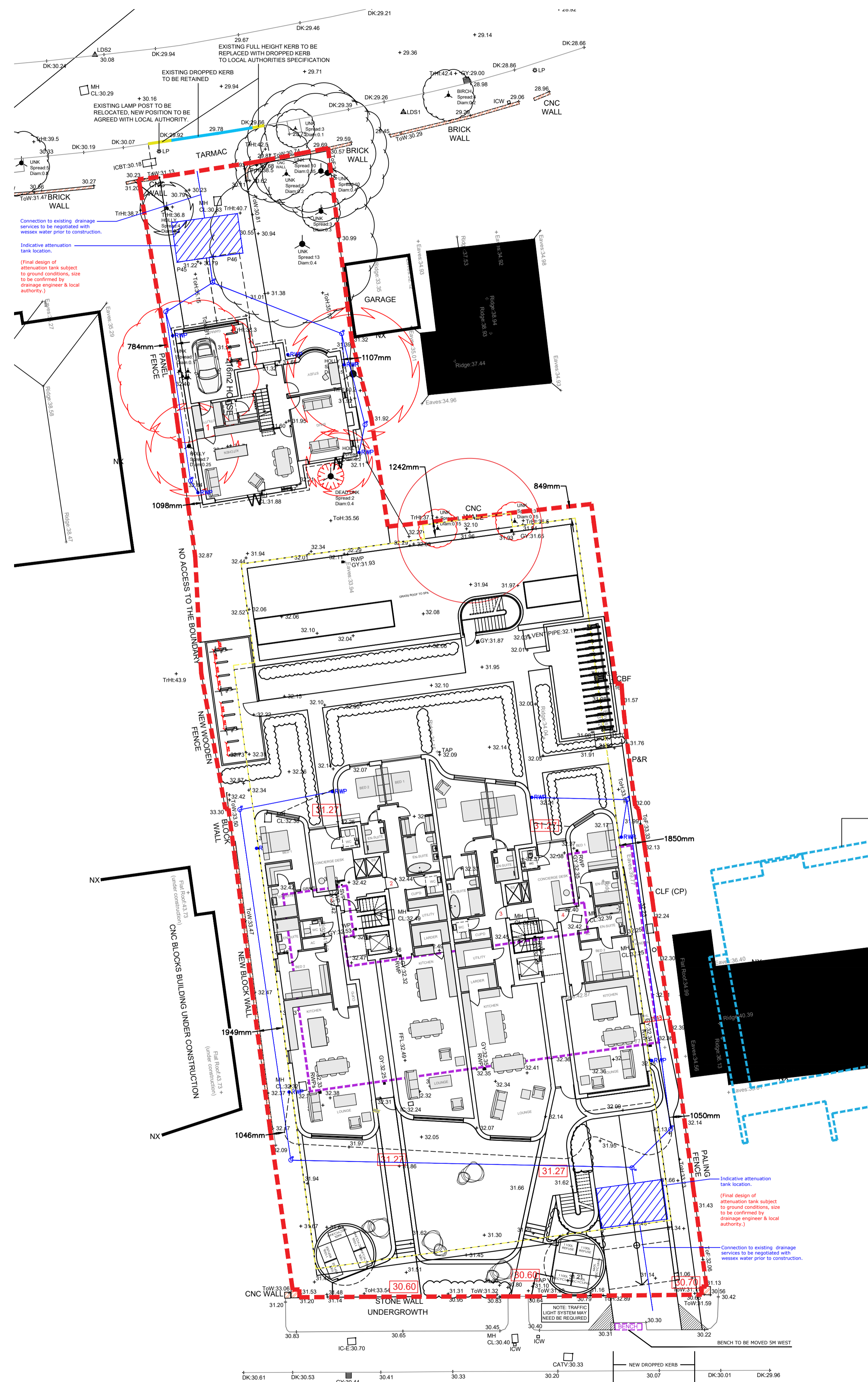
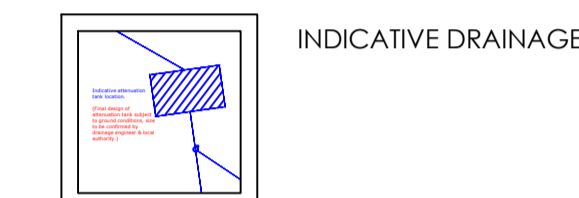
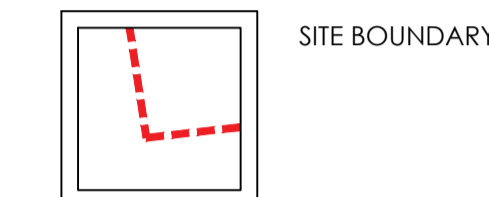
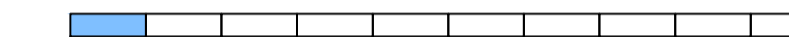
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- We take no responsibility for the depicted site ownership boundary. Clients must notify us if they feel the plans do not accurately depict their ownership or area of control for planning purposes.
- We do not take responsibility for meeting minimum space as set out in Government Technical housing standards - nationally described space standards document.
- All Cladding & building attachments externally to be all A1 fire rated.
- NOTE: We do NOT take any responsibility and do not carry any PI cover in relation to any matters relating to fire safety, Part B building regulations, BS 9991 for fire or EWS1 and drawings in no way form a fire strategy report. All design details relating to Fire Safety are shown for indicative purposes only and should be read in conjunction with the latest version of the Appointed Fire Consultant Fire Strategy Document/ Report - all information contained in such a report supersedes ARC drawings in all aspects. No assumption of any responsibility is accepted. If you are unaware who the appointed fire consultant is or don't have a copy of the latest version of the report please contact arc in writing immediately.**
- EWS1: an independent and an appropriately qualified and insured fire consultant/engineer should be appointed by the client/contractor to ensure the finished project is compliant. Some mortgage companies require EWS1's on buildings outside of the EWS1 standard criteria. Part B & Fire Safety. An independent and appropriately qualified fire consultant should be instructed by the client/contractor at the earliest possible point in the design process to ensure compliance with Part B & Fire safety. Please note that subject to a fire consultants confirmation/out the following points may be required in some or all areas of the building: 1) Sprinkler systems (Domestic or commercial) 2) Mechanical smoke extraction 3) Fixed shut fire safety glass 4) some sprinkler systems require large holding tanks 5) plan changes in relation to fire safety could result in loss of usable floor area and potential requirement for additional planning applications. (this list is not exhaustive)

LEGEND

10m @ 1:100



SITE AREA: 0.219 HECTARES / 0.543 ACRES

C	Bike store removed	15.03.24	TC
B	ARC checklist	06.03.24	TC
A	ARC checklist	16.02.24	TC

No.	Revision.	date	by

PROPOSED DEVELOPMENT,  
PURBECK COURT,  
BOSCOMBE OVERCLIFF DRIVE,  
BOURNEMOUTH,  
DORSET,  
BH5 2EN

INDICATIVE DRAINAGE PLAN

scale	A5 SHOWN @ A1	checked	CS / JTR
date	MARCH 2024	drawn	AE / TC

9753/212

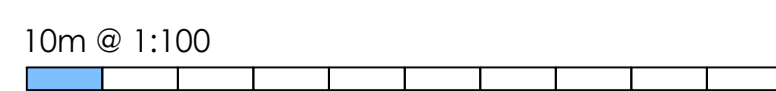
ARC Architecture Ltd.

Chapel Studios, 14 Purewell,  
Christchurch, Dorset, BH23 1EP

Tel: +44 (0)1202 479919  
E-mail: enquiries@andersrobertscheer.co.uk  
Web: www.andersrobertscheer.co.uk



INDICATIVE DRAINAGE PLAN: BASED ON TOPOGRAPHICAL SURVEY INFORMATION  
SCALE: 1:200

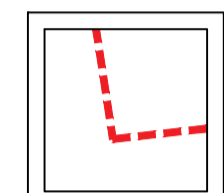
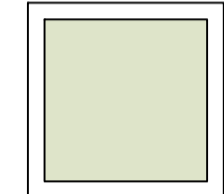


1. The contents of this drawing are copyright.
2. Planning drawings are only to be used for planning purposes & no reliance on compliance with Building regulations should be assumed.
3. Do not scale. Figure dimensions only to be used.
4. Contractors must verify all dimensions and report any discrepancies before putting work in hand or making any shop drawings.
5. All flat roofs to be fitted with a man safe system to satisfy CDM 2015 regulations unless written confirmation from Principle Designer/ Principle Contractor is provided to show alternative compliance has been sought and approved.
6. Stair design to be independently checked by stair fabricator for regs. compliance and sizing, prior to construction/ ordering. Dimensions to be checked before fabrication.
7. Modern waterproofing specialists (or similar company with relevant PI insurance) to be instructed and detail all basement waterproofing designs. - ARC carry no responsibility or PI cover for basement designs in terms of waterproofing or structure in any way.
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11. All Cladding & building attachments externally to be all A1 fire rated.
12. FIRE: We do NOT take any responsibility and do not carry any PI cover in relation to any matters relating to fire safety, Part B building regulations, BS 9961 for fire or EWS1 and drawings in no way form a fire strategy report. All design details relating to Fire Safety are shown for indicative purposes only and should be read conjunction with the latest version of the Appointed Fire Consultant Fire Strategy Document/ Report - all information contained in such a report supersedes ARC drawings in all aspects. No assumption of any responsibility is accepted. If you are unaware who the appointed fire consultant is or don't have a copy of the latest version of the report please contact arc in writing immediately.
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14. Part B & Fire Safety: An independent and appropriately qualified fire consultant should be instructed by the client/contractor at the earliest possible point in the design process to ensure compliance with Part B & Fire safety. Please note that subject to a fire consultants confirmation/the following points may be require some or all areas of the building: 1) Sprinkler systems (Domestic or commercial) 2) Mechanical smoke extraction 3) Fixed shut fire safety glass 4) some sprinkler systems require large holding tanks 5) plan changes in relation to fire safety could result in loss of usable floor area and potential requirement for additional planning applications. (this list is not exhaustive)

LEGEND

10m @ 1:100



-  SITE BOUNDARY
-  SOFT LANDSCAPE

SITE AREA: 0.219 HECTARES / 0.543 ACRES

No.	Revision.	date	by

PROPOSED DEVELOPMENT,  
PURBECK COURT,  
BOSCOMBE OVERCLIFF DRIVE,  
BOURNEMOUTH,  
DORSET,  
BH5 2EN

LANDSCAPE COMPARISON STUDY

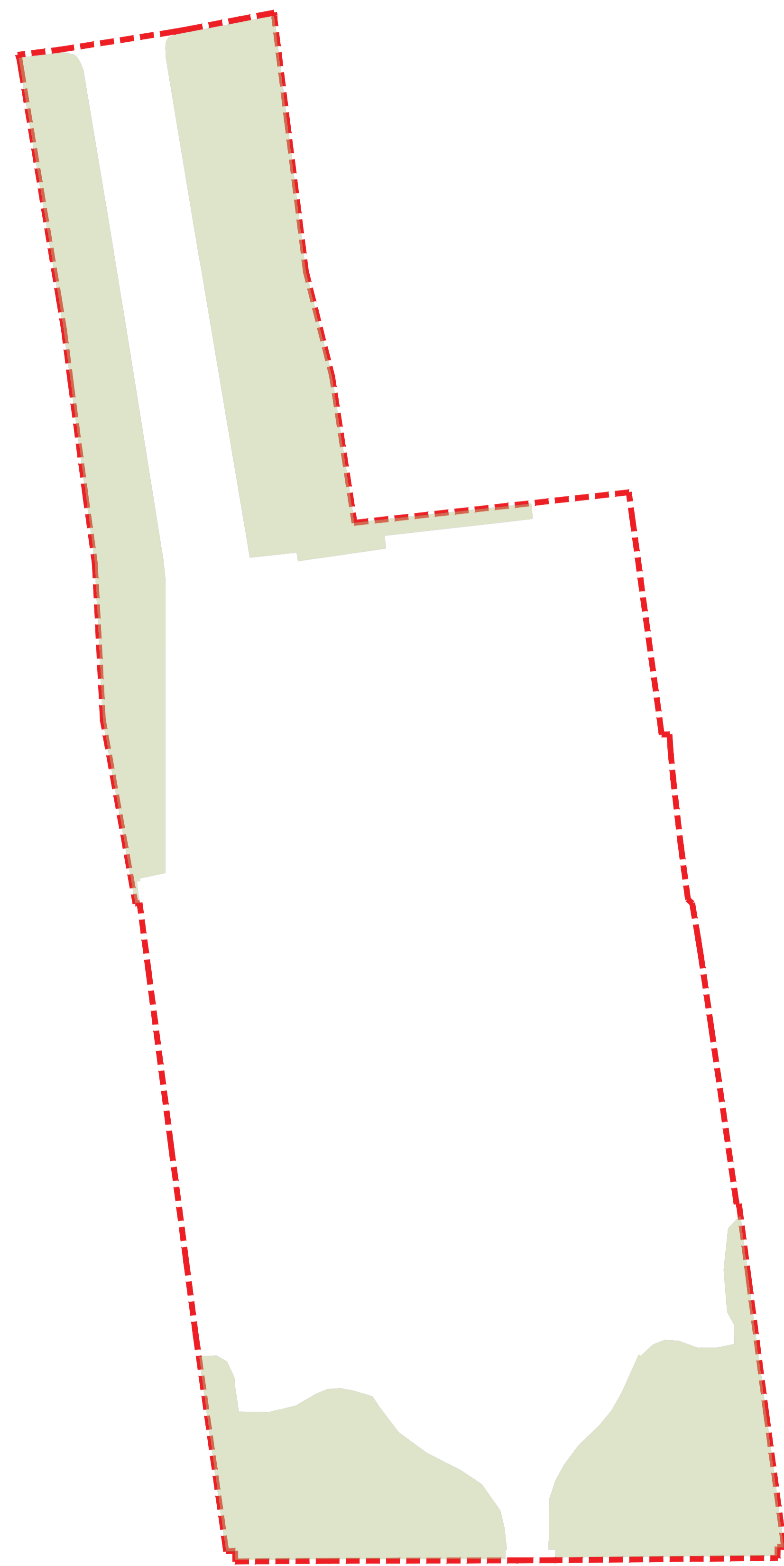
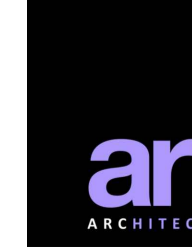
scale	AS SHOWN @ A1	checked	
date	JULY 2024	drawn	AE

9753/213

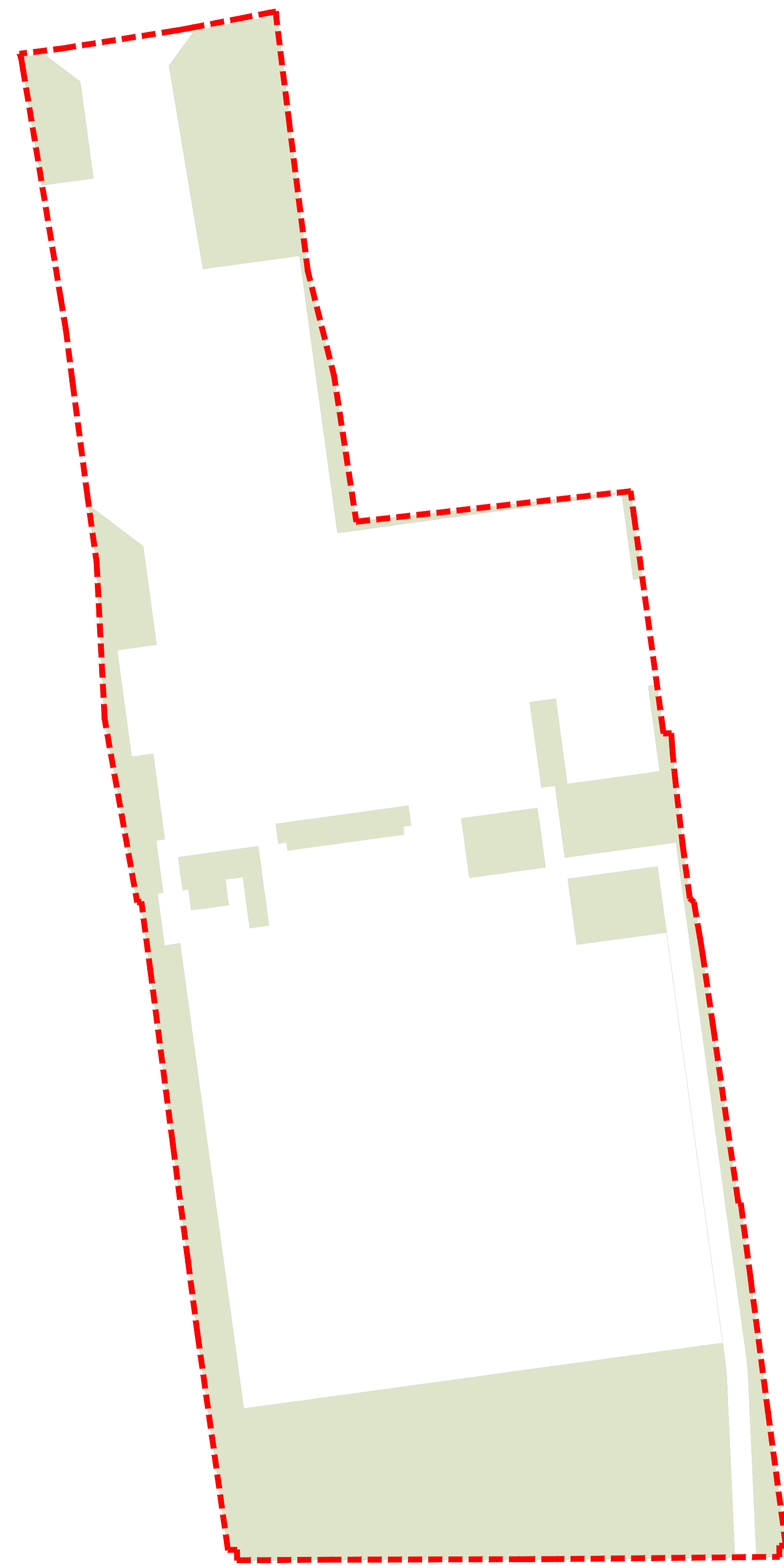
ARC Architecture Ltd.

Chapel Studios, 14 Purewell,  
Christchurch, Dorset, BH23 1EP

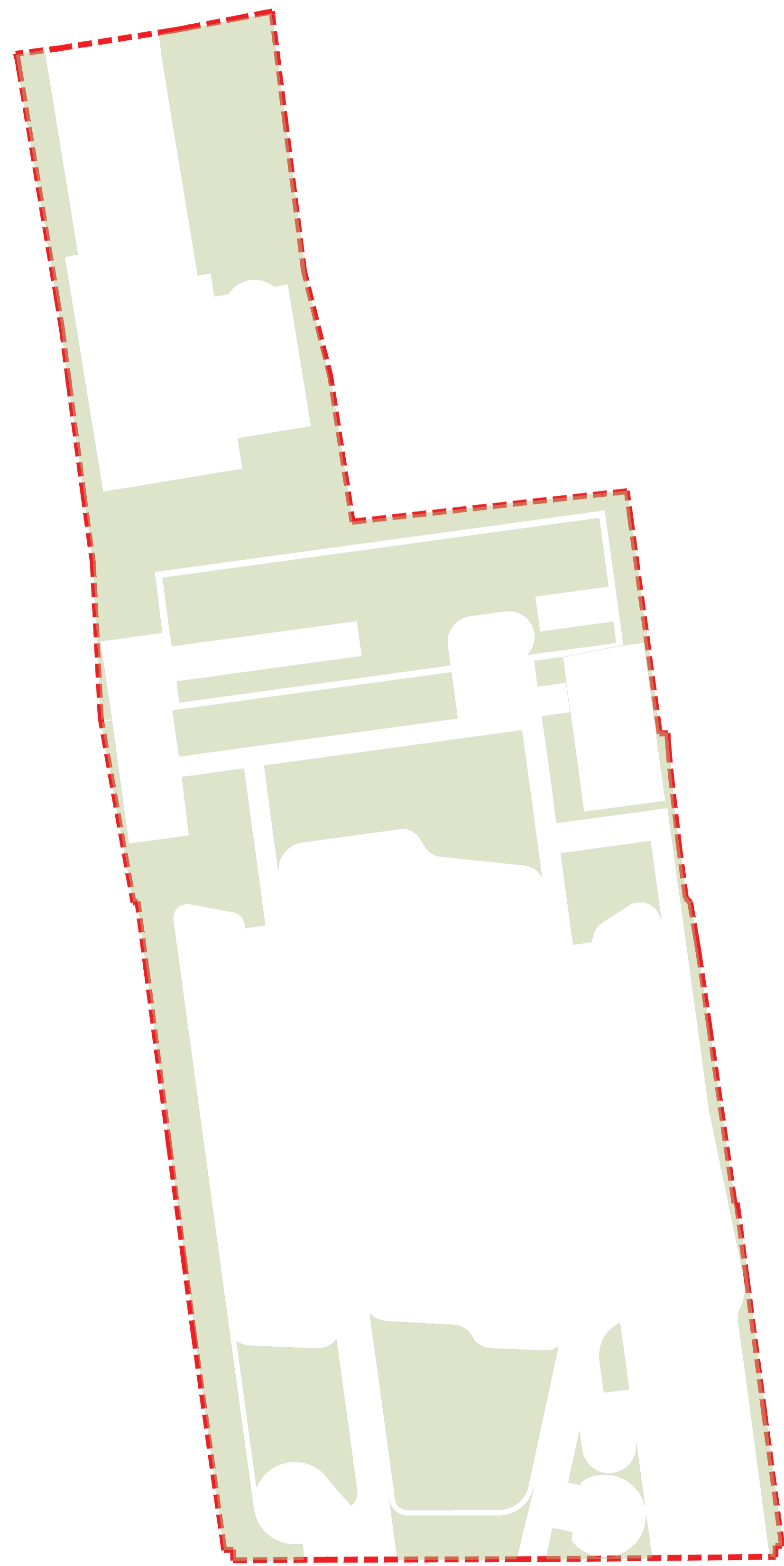
Tel: +44 (0) 1202 479919  
E-mail: enquiries@andersrobertscheer.co.uk  
Web: www.andersrobertscheer.co.uk



EXISTING SOFT LANDSCAPE - 27.3%  
SCALE: 1:200



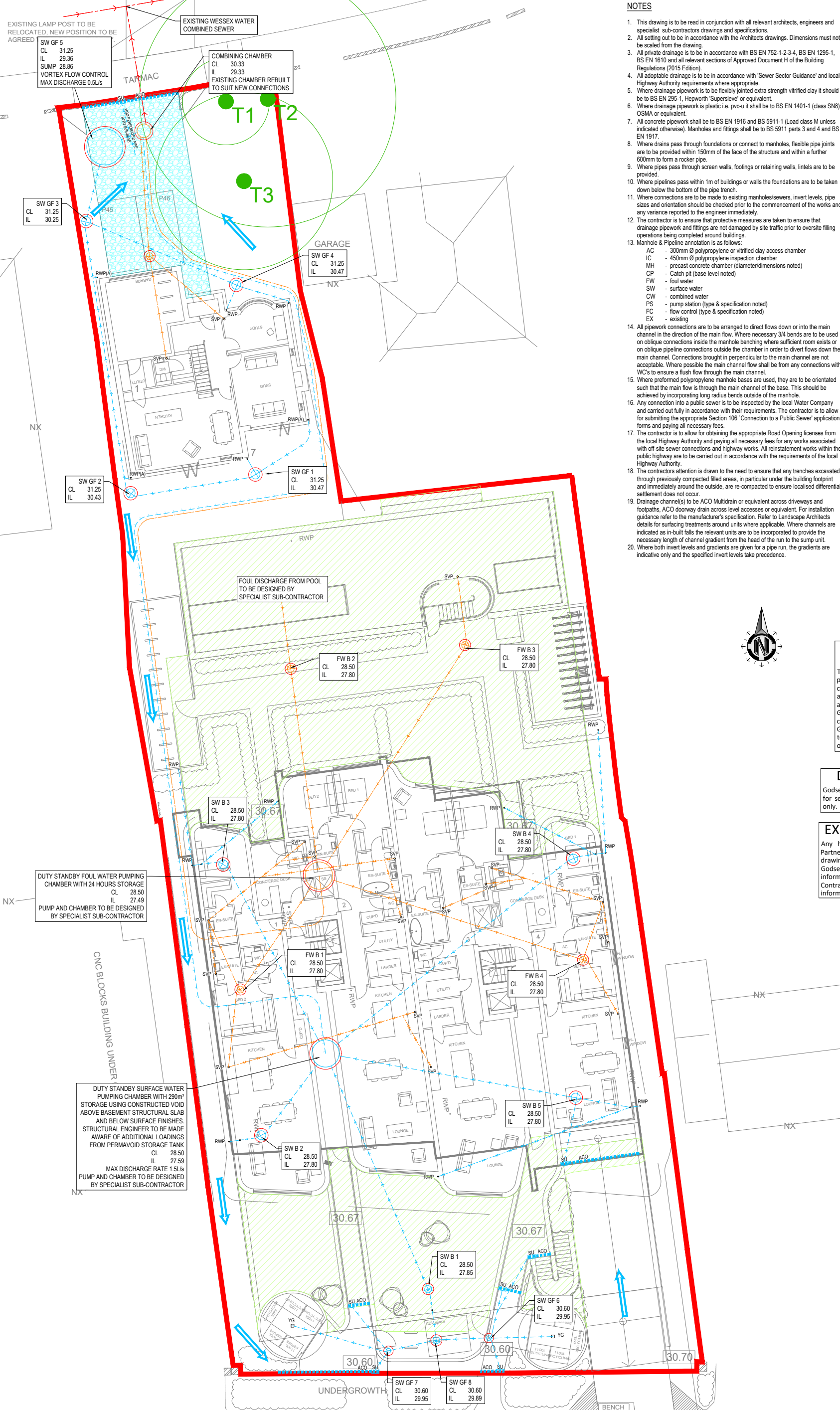
PREVIOUS APPROVAL SOFT LANDSCAPE - 28.75%  
SCALE: 1:200



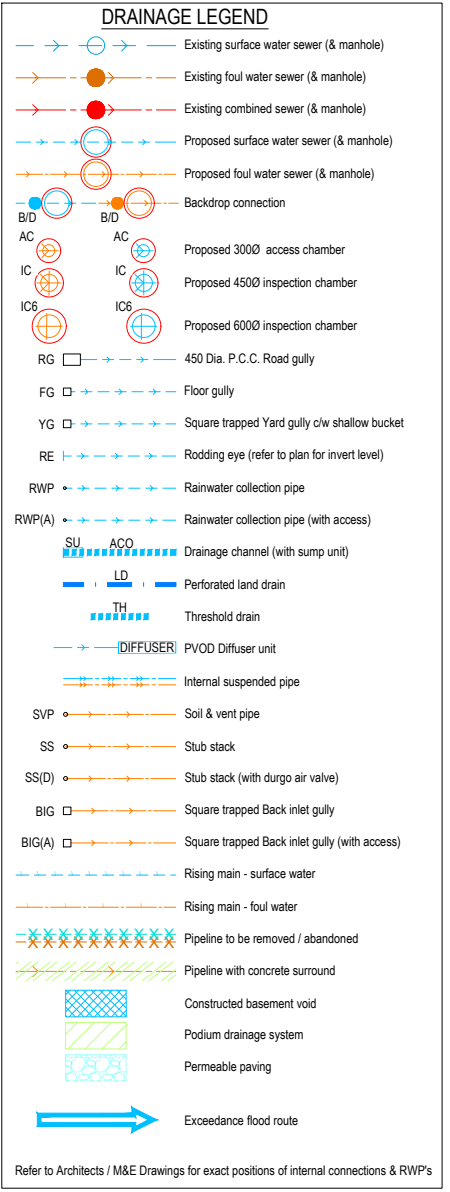
CURRENT PROPOSAL SOFT LANDSCAPE - 38.31%  
SCALE: 1:200

10m @ 1:100





- NOTES**
- This drawing is to be read in conjunction with all relevant architects, engineers and specialist sub-contractors drawings and specifications.
  - All setting out to be in accordance with the Architects drawings. Dimensions must not be scaled from the drawing.
  - All private drainage is to be in accordance with BS EN 752-1-2-3-4, BS EN 1295-1, BS EN 1610 and all relevant sections of Approved Document H of the Building Regulations (2015 Edition).
  - All adoptable drainage is to be in accordance with 'Sewer Sector Guidance' and local Highway Authority requirements where appropriate.
  - Where drainage pipework is to be flexibly jointed extra strength vitrified clay it should be to BS EN 295-1, Hepworth 'Supersieve' or equivalent.
  - Where drainage pipework is plastic i.e. pvc-u it shall be to BS EN 1401-1 (class SN8) OSMA or equivalent.
  - All concrete pipework shall be to BS EN 1916 and BS 5911-1 (Load class M unless indicated otherwise). Manholes and fittings shall be to BS 5911 parts 3 and 4 and BS EN 1917.
  - Where drains pass through foundations or connect to manholes, flexible pipe joints are to be provided within 150mm of the face of the structure and within a further 600mm to form a rocker pipe.
  - Where pipes pass through screen walls, footings or retaining walls, lintels are to be provided.
  - Where pipelines pass within 1m of buildings or walls the foundations are to be taken down below the bottom of the pipe trench.
  - Where connections are to be made to existing manholes/sewers, invert levels, pipe sizes and orientation should be checked prior to the commencement of the works and any variance reported to the engineer immediately.
  - The contractor is to ensure that protective measures are taken to ensure that drainage pipework and fittings are not damaged by site traffic prior to oversite filling operations being completed around buildings.
  - Manhole & Pipeline annotation is as follows:
    - AC - 300mm Ø polypropylene or vitrified clay access chamber
    - IC - 450mm Ø polypropylene inspection chamber
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    - CP - Catch pit (base level noted)
    - FW - foul water
    - SW - surface water
    - CW - combined water
    - PS - pump station (type & specification noted)
    - FC - flow control (type & specification noted)
    - EX - existing
  - All pipework connections are to be arranged to direct flows down or into the main channel in the direction of the main flow. Where necessary 3/4 bends are to be used on oblique connections inside the manhole benching where sufficient room exists or on oblique pipeline connections outside the chamber in order to divert flows down the main channel. Connections brought in perpendicular to the main channel are not acceptable. Where possible the main channel flow shall be from any connections with WC's to ensure a flush flow through the main channel.
  - Where preformed polypropylene manhole bases are used, they are to be orientated such that the main flow is through the main channel of the base. This should be achieved by incorporating long radius bends outside of the manhole.
  - Any connection into a public sewer is to be inspected by the local Water Company and carried out fully in accordance with their requirements. The contractor is to allow for submitting the appropriate Section 106 'Connection to a Public Sewer' application forms and paying all necessary fees.
  - The contractor is to allow for obtaining the appropriate Road Opening licenses from the local Highway Authority and paying all necessary fees for any works associated with off-site sewer connections and highway works. All reinstatement works within the public highway are to be carried out in accordance with the requirements of the local Highway Authority.
  - The contractors attention is drawn to the need to ensure that any trenches excavated through previously compacted filled areas, in particular under the building footprint and immediately around the outside, are re-compacted to ensure localised differential settlement does not occur.
  - Drainage channel(s) to be ACO Multidrain or equivalent across driveways and footpaths, ACO doorway drain across level accesses or equivalent. For installation guidance refer to the manufacturer's specification. Refer to Landscape Architects details for surfacing treatments around units where applicable. Where channels are indicated as in-built falls the relevant units are to be incorporated to provide the necessary length of channel gradient from the head of the run to the sump unit.
  - Where both invert levels and gradients are given for a pipe run, the gradients are indicative only and the specified invert levels take precedence.



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**NOT FOR CONSTRUCTION**

Rev	Date	Revision Description	Issued by
P07	17.06.25	Site plan updated	JHW
P06	09.06.25	Strategy revised	JLB
P05	24.03.25	Strategy revised	JLB
P04	13.01.25	Exceedance flood route added	JLB
P03	05.11.24	Strategy revised	JLB
P02	12.09.24	Foul drainage added to strategy	JLB
P01	28.03.24	Preliminary issue	JLB

Drawing Status: **S0 - Work in Progress**

**GODSELL • ARNOLD PARTNERSHIP LTD**  
 Consulting Civil and Structural Engineers  
 7 Arrowsmith Court, Station Approach  
 Broadstone, Dorset. BH18 8AX  
 Telephone: 01202 600 900 Website: www.gapitd.net

Client: **ARC Architecture**

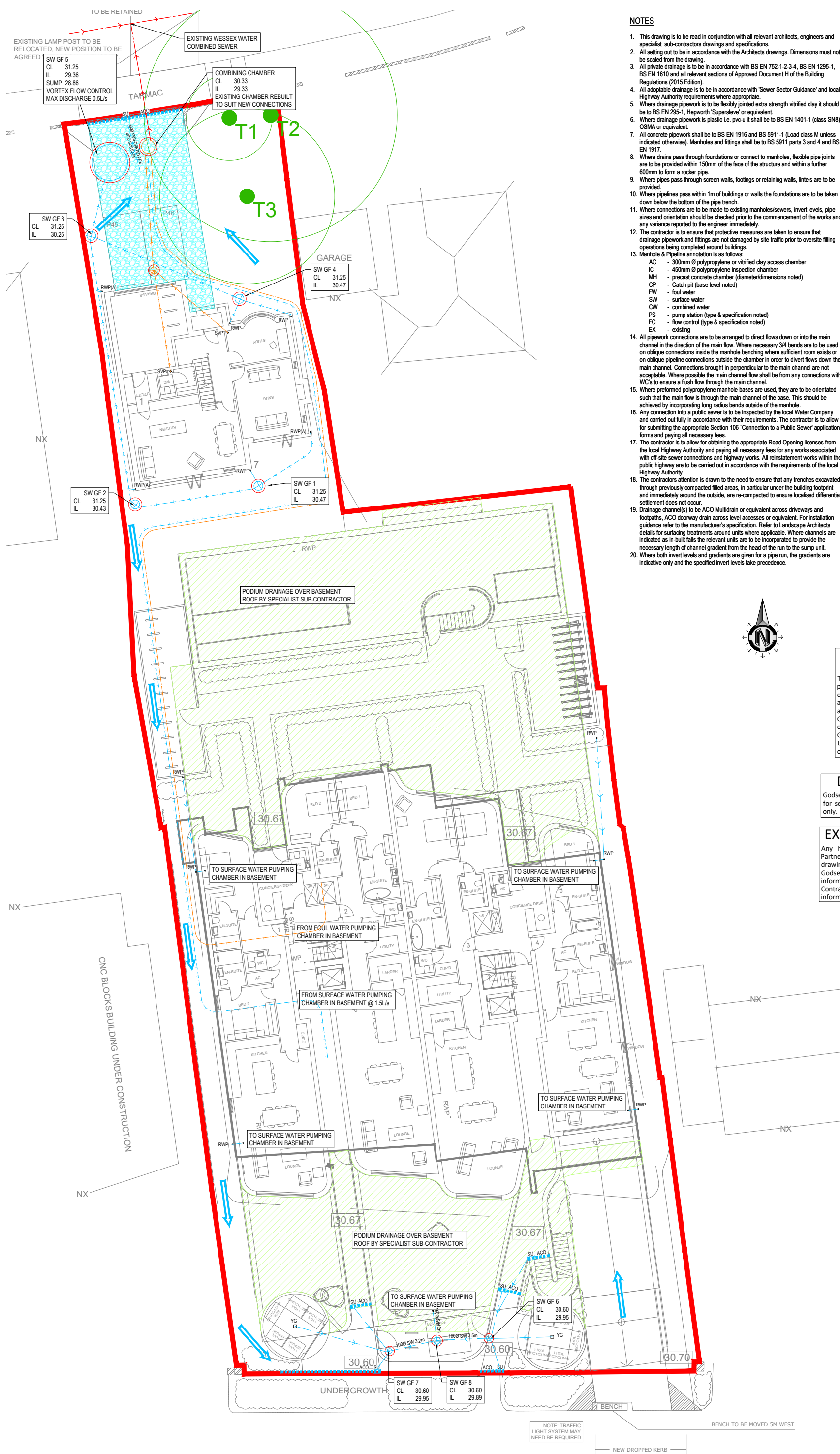
Project: **65-67 Boscombe Overcliff Drive**

Drawing Title: **Drainage Strategy Overall Layout**

Scale: 1:125 Drawn: JLB Checked: JHW

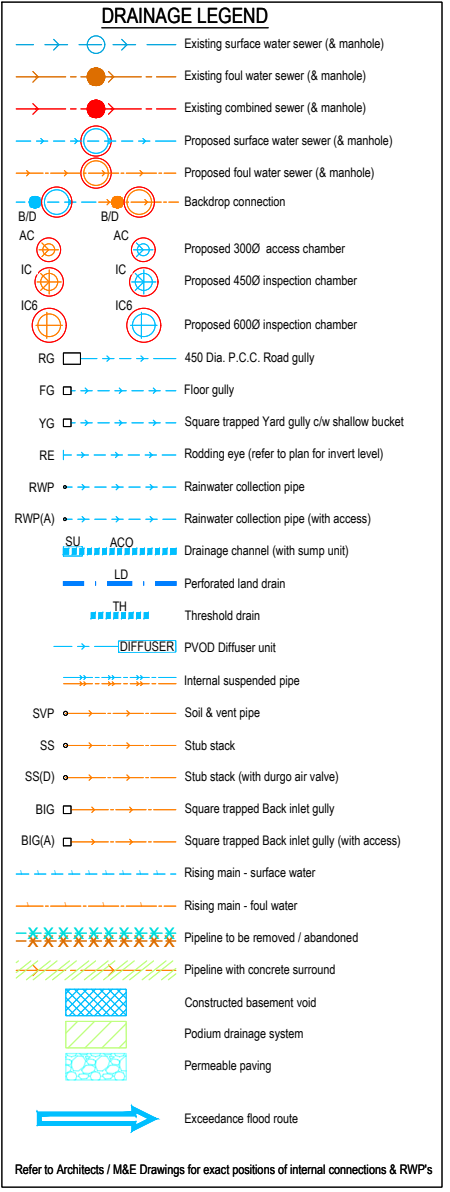
Project Originator: Zone Level Type Role Drawing No.: Revision:

24058-GAP-XX-XX-DR-C 9000 P07



**NOTES**

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**NOT FOR CONSTRUCTION**

Rev	Date	Revision Description	Issued by
P07	17.06.25	Site plan updated	JHW
P06	09.06.25	Strategy revised	JLB
P05	26.03.25	Strategy revised	JLB
P04	13.01.25	Exceedance flood route added	JLB
P03	05.11.24	Strategy revised	JLB
P02	12.09.24	Foul drainage added to strategy	JLB
P01	28.03.24	Preliminary issue	JLB

Drawing Status: **S0 - Work in Progress**

**GODSELL • ARNOLD PARTNERSHIP LTD**  
 Consulting Civil and Structural Engineers  
 7 Arrowsmith Court, Station Approach  
 Broadsmeth, Dorset, BH18 8AX  
 Telephone: 01202 600 900 Website: www.gapitd.net

Client: **ARC Architecture**

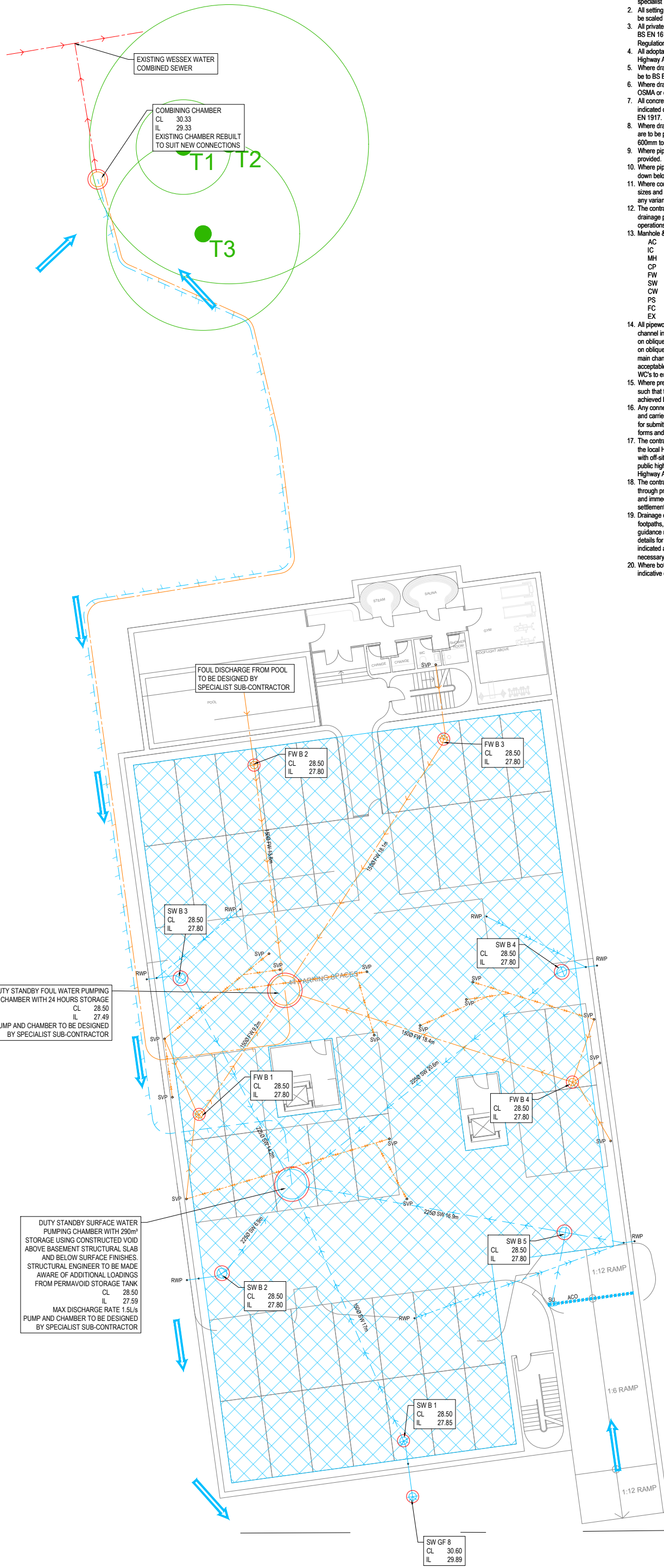
Project: **65-67 Boscombe Overcliff Drive**

Drawing Title: **Drainage Strategy Ground Floor Layout**

Scale: 1:125 Drawn: JLB Checked: JHW

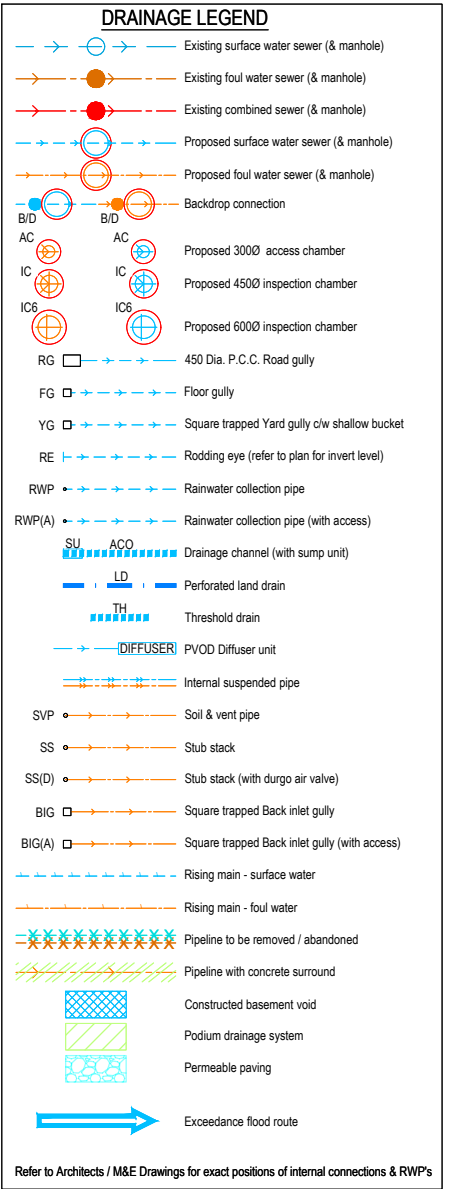
Project-Originator-Zone-Level-Type-Role Drawing No.: 24058-GAP-XX-XX-DR-C Revision: 9001 P07





**NOTES**

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**NOT FOR CONSTRUCTION**

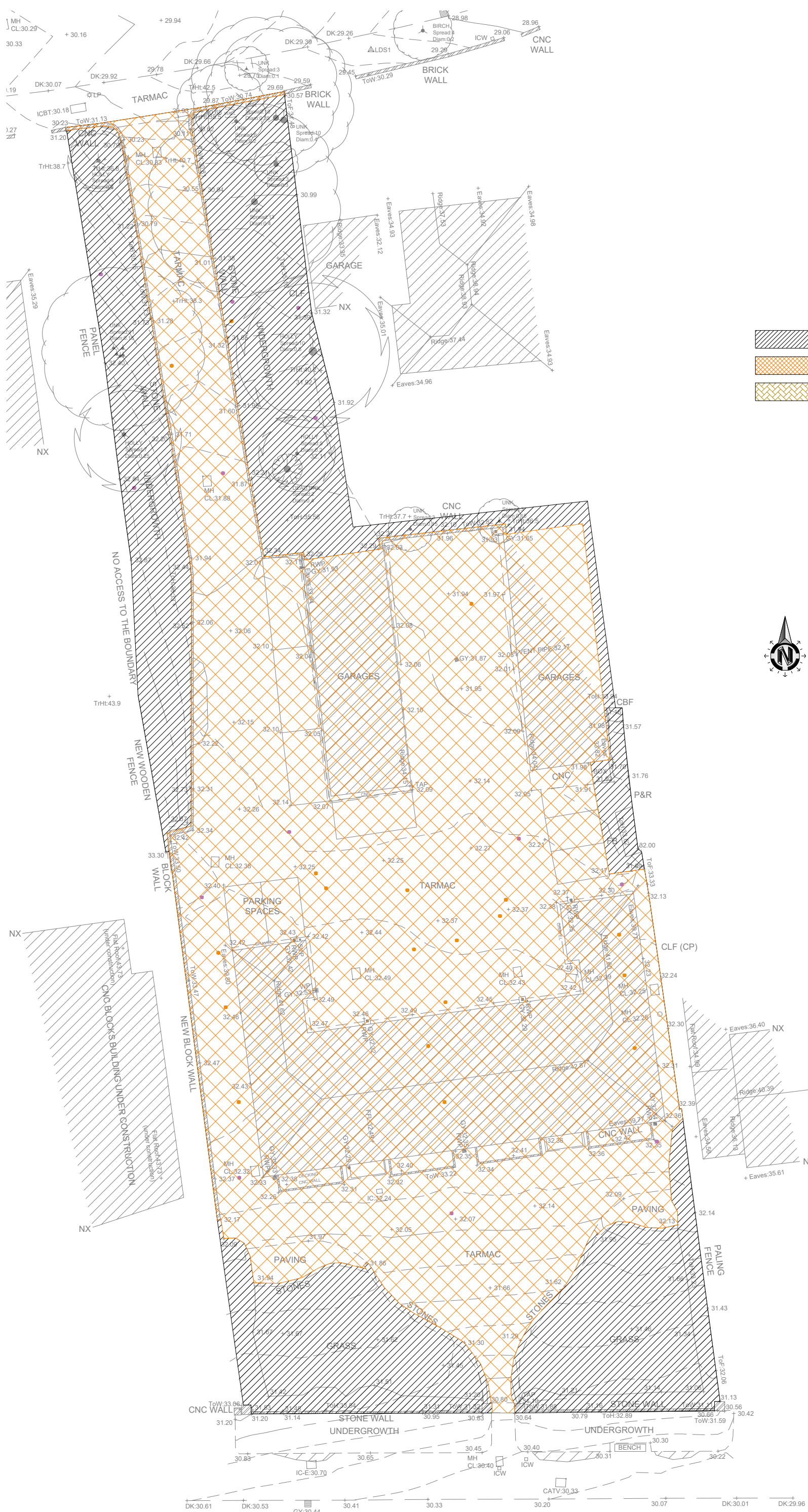
Rev	Date	Revision Description	Issued by
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P06	09.06.25	Strategy revised	JLB
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P03	05.11.24	Strategy revised	JLB
P02	12.09.24	Foul drainage added to strategy	JLB
P01	28.03.24	Preliminary issue	JLB

Drawing Status: **50 - Work in Progress**  
**GODSELL • ARNOLD PARTNERSHIP LTD**  
 Consulting Civil and Structural Engineers  
 7 Arrowsmith Court, Station Approach  
 Broadstone, Dorset. BH18 8AX  
 Telephone: 01202 600 900 Website: www.gapitd.net

Client: ARC Architecture  
 Project: 65-67 Boscombe Overcliff Drive

Drawing Title: Drainage Strategy  
 Basement Layout

Scale: 1:125 Drawn: JLB Checked: JHW  
 Project-Originator-Zone-Level-Type-Role Drawing No.: Revision:



**General Notes**

1. These drawings are to be read in conjunction with all relevant Architect's and Engineer's drawings and specifications, refer to Drg. No.00 for Structural Specification
2. Except where specific dimensions are shown on these drawings, all setting out shall be in accordance with the architects drawings and specifications. Any discrepancy between these drawings and the architects drawings or the actual site dimensions should be referred to the engineer immediately and confirmed in writing. The contractor is responsible for the accuracy of all dimensions and the setting out.
3. Do not scale from these drawings. If in doubt, ask.
4. All dimensions are in millimetres unless noted otherwise.
5. All proprietary materials to be in accordance with manufacturers specifications and to Engineer's approval.
6. All proprietary CDP elements shown on the drawings should be treated as indicative and are subject to detailed design by specialist manufacturer/supplier. The contractor should make suitable allowance for third party design/detailing and potential impact on the permanent work design.

**Legend**

	Existing Site	Proposed Site
Soft landscaping	656.0m <sup>2</sup>	371.3m <sup>2</sup>
Impermeable area	1542.0m <sup>2</sup>	1741.3m <sup>2</sup>
Permeable surfaces	N/A	85.4m <sup>2</sup>



**THIS DRAWING IS FOR PLANNING PURPOSES ONLY**

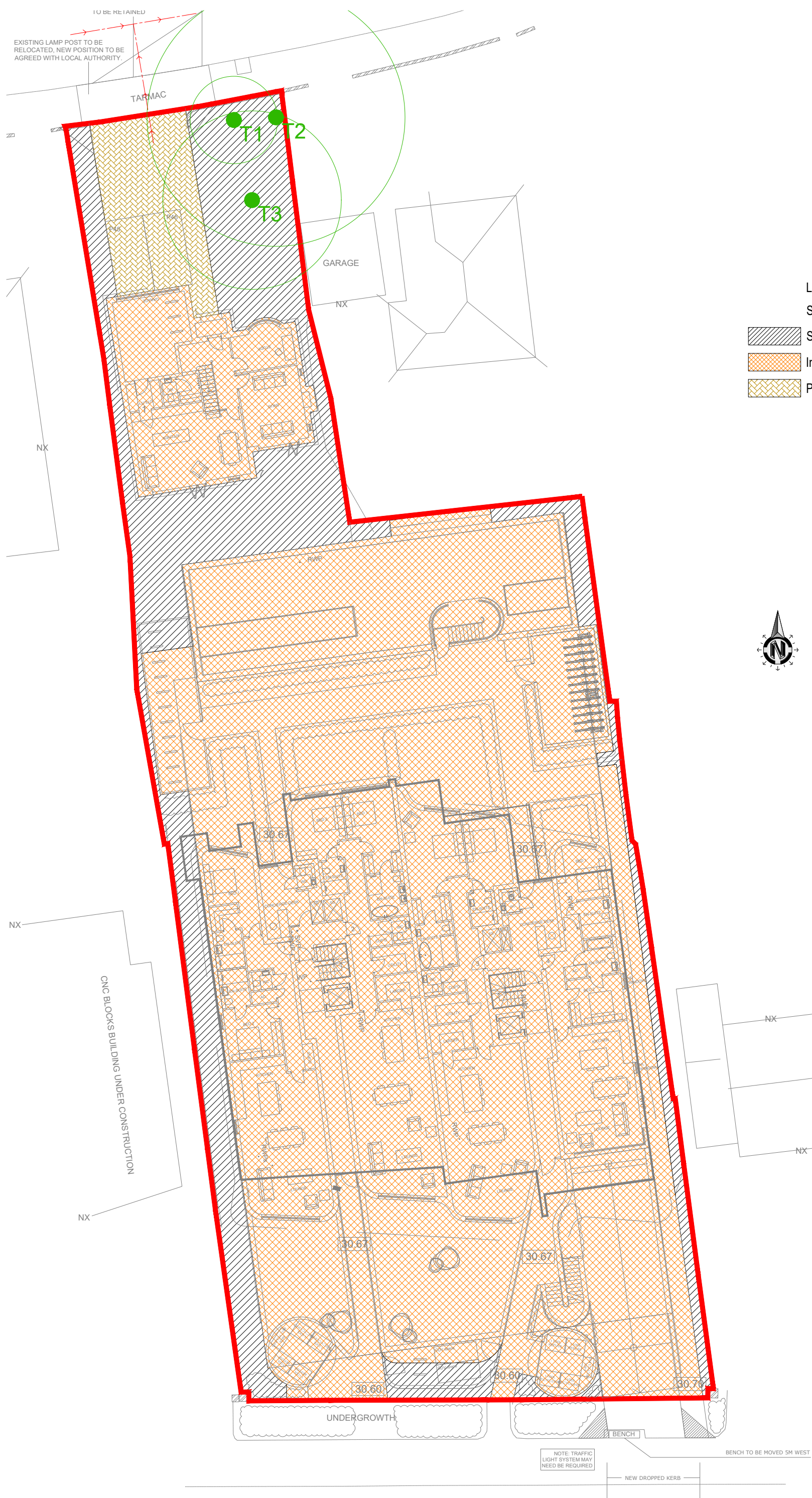
This drawing has been prepared for submission to fulfil planning permission requirements and is not to be used for construction in anyway. Some elements may still be subject to amendment during scheme development, post planning approval.  
 Godsell Arnold Partnership Ltd. accept no liabilities if works are constructed based on this drawing.  
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**DO NOT USE FOR SETTING OUT**

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**NOT FOR CONSTRUCTION**

PO1	28.03.24	Preliminary Issue	JLB
Rev	Date	Revision Description	Issued by
Drawing Status: 50 - Work in Progress			
<b>GODSELL • ARNOLD PARTNERSHIP LTD</b>			
<b>Consulting Civil and Structural Engineers</b>			
7 Arrowsmith Court, Station Approach Broadstone, Dorset, BH18 8AX Telephone: 01202 600 900 Website: www.gapitd.net			
Client:	ARC Architecture		
Project:	65-67 Boscombe Overcliff Drive		
Drawing Title:	Drained Areas Pre-Development		
Scale:	1:125	Drawn:	JLB
		Checked:	JHW
Project-Originator-Zone-Level-Type-Role			
24058-GAP-XX-XX-DR-C		9010 P01	



**General Notes**

1. These drawings are to be read in conjunction with all relevant Architect's and Engineer's drawings and specifications, refer to Drg. No.00 for Structural Specification
2. Except where specific dimensions are shown on these drawings, all setting out shall be in accordance with the architects drawings and specifications. Any discrepancy between these drawings and the architects drawings or the actual site dimensions should be referred to the engineer immediately and confirmed in writing. The contractor is responsible for the accuracy of all dimensions and the setting out.
3. Do not scale from these drawings. If in doubt, ask.
4. All dimensions are in millimetres unless noted otherwise.
5. All proprietary materials to be in accordance with manufacturers specifications and to Engineer's approval.
6. All proprietary CDP elements shown on the drawings should be treated as indicative and are subject to detailed design by specialist manufacturer/supplier. The contractor should make suitable allowance for third party design/detailing and potential impact on the permanent work design.

**Legend**

	Existing Site	Proposed Site
Soft landscaping	656 m <sup>2</sup>	393 m <sup>2</sup>
Impermeable area	1542 m <sup>2</sup>	1728 m <sup>2</sup>
Permeable surfaces	N/A	78 m <sup>2</sup>



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**NOT FOR CONSTRUCTION**

Rev	Date	Revision Description	Issued by
P02	17.06.25	Site plan updated	JHW
P01	28.03.24	Preliminary issue	JLB

Drawing Status: **50 - Work in Progress**

**GODSELL • ARNOLD PARTNERSHIP LTD**

**Consulting Civil and Structural Engineers**  
 7 Arrowsmith Court, Station Approach  
 Broadstone, Dorset. BH18 8AX  
 Telephone: 01202 600 900 Website: www.gapitd.net

Client: **ARC Architecture**

Project: **65-67 Boscombe Overcliff Drive**

Drawing Title: **Drained Areas Post-Development**

Scale: 1:125 Drawn: JLB Checked: JHW

Project-Originator-Zone-Level-Type-Role Drawing No.: 24058-GAP-XX-XX-DR-C 9011 P02

**Arboricultural Method Statement**

This method statement is a working document which aims to provide effective specifications for tree-sensitive operations and thus to minimise impacts on retained trees. It must be retained on site and be available to the site manager/foreman as a reference during construction.

If any changes are made to the proposed development or any of the working methods are found to be impracticable, then the method statement must be reviewed in consultation with the project arboriculturist.

This method statement may include work to protected trees, consent for which is not required so far as such work is necessary to implement a planning permission.

Failure to comply with this arboricultural method statement could result in enforcement action being taken by the local planning authority.

**Tree Surgery**

The following work to trees is necessary:

- T3 - Prune lower branches to give 4m clearance above access drive
- T4-T8 - Fell to ground level

The legal Duty of Care requires that all work specified in this report should be carried out by qualified, arboricultural contractors working according to Health & Safety Executive guidelines. All work must be carried out to arboricultural industry best practice and in accordance with BS 3998:2010 'Tree work - Recommendations'. All tree management work must take account of the Wildlife and Countryside Act, 1981, as amended by the Countryside and Rights of Way Act 2000, and the Conservation of Habitats and Species Regulations 2017. This legislation makes it a criminal offence to disturb the nests and to injure or kill nesting birds or bats.

**Tree Protection Fencing**

Tree protection fencing, complying with British Standard 5837:2012 'Trees in relation to design, demolition and construction - Recommendations', must be erected in the position shown on the plan prior to commencement of work on site and remain as an effective barrier and in position until the end of the construction phase or until the project arboriculturist, or local planning authority provides written authority for its removal.

See illustration below for specification of the tree protection fencing to be erected on the site.

**Temporary Ground Protection**

Prior to the commencement of any work on the site temporary ground protection must be laid in the area shown on the plan. Here, ground protection must consist of inter-linked ground protection boards placed on top of a compression-resistant layer (e.g. 150 mm depth of woodchip), laid onto a geotextile membrane. This protection must remain in position until the end of the construction phase or until the project arboriculturist, or local planning authority provides written authority for its removal.

See illustration below for specification of the temporary ground protection to be laid on the site.

**Boundary Wall Adjustment for Visibility Splay**

All re-grading work within the area shaded magenta on the plan must be carried out carefully by hand.

At this time, if any roots are encountered they must be cut back to 50mm beyond the area of disturbance in accordance with BS 3998:2010 'Tree work - Recommendations'. Roots must be cut cleanly using a suitable sharp hand tool (e.g. bypass secateurs or handsaw). Where roots of diameter greater than 25mm are encountered the project arboriculturist must be consulted before any pruning takes place.

**Installation of Cellular Confinement System**

The proposed driveway and car parking area must be installed using a cellular confinement system. The minimum area subject to this treatment is shown hatched in grey on the plan opposite. The existing driveway surface must be retained to protect underlying roots until the new surface can be installed.

There is a variety of cellular confinement products available; the chosen product must conform to ISO 13428-1:2003 'Geotextiles and geotextile-related products - strength of internal structural junctions - Part 1: Geocells'.

The existing driveway surface must be broken up using a pneumatic drill or hand tools and removed from the site carefully. No vehicles are permitted onto any exposed ground. Debris from this operation must not be placed within any exposed tree root protection area. This operation must be supervised by the project arboriculturist.

Hollows must be filled using sharp sand to provide a level surface onto which the geotextile can be laid. The prepared ground must be covered using a non-woven geotextile fabric (min. 300g/m<sup>2</sup>) with a CBR puncture resistance of 4kN. Joins must be overlapped by 300mm.

The cellular confinement panels must be expanded to their full length / width and pinned with staking pins to keep the cells open. Adjacent panels must be stapled together to create a continuous mattress. Excess cells can be removed by cutting panels with a sharp knife. Each open cell must be filled to full capacity with a no fines fill of 20-40mm crushed stone; granite and basalt are ideal. Cells must be overcharged by approximately 50mm to protect the top edges of the panel from wear and the infill material consolidated by several passes of a tracked excavator or smooth roller. A whacker plate must not be used to compact the stone as this would also compact the soil beneath.

Kerb edges can be concreted in place on top of the cellular panels to avoid disturbance of the adjacent ground. Timber edging, where appropriate, can be installed using treated timber boards held in place by wooden pegs. Soil should be placed against the timber edge and battered to provide a slope between the final surface and the existing soil level. Where there is an existing edge that can be used this will avoid or minimise excavations and tree root damage.

If installed prior to the completion of the new dwelling, the cellular confinement system must be finished with ground mats to protect the panels from wear. At the end of construction, the ground mats can be removed to lay the final permeable wearing surface.

**Surfacing Options:**

**Block Paving**

Lay a second layer of geotextile fabric over the infilled cellular confinement panels. Lay a sharp sand bedding layer compacted with a vibro compaction plate to the depth recommended by the paving product supplier. Place block paviors as per manufacturer's instructions.

**Loose Gravel**

Place a second layer of geotextile fabric over the infilled cellular confinement panels. Place decorative aggregate to the required depth. NOTE: A treated timber edge must be provided to restrict gravel movement.

**Porous Asphalt and Resin Bound Gravel**

Place a 50mm surcharge of the granular material above the cellular confinement system and lay a binder course of porous asphalt onto this rough surface before adding the final wearing course.

**Pre-Commencement Site Meeting**

A pre-commencement site meeting must be held at which the site manager, the project arboriculturist and, if required by condition, a representative from the local planning authority are present to discuss the tree protection measures.

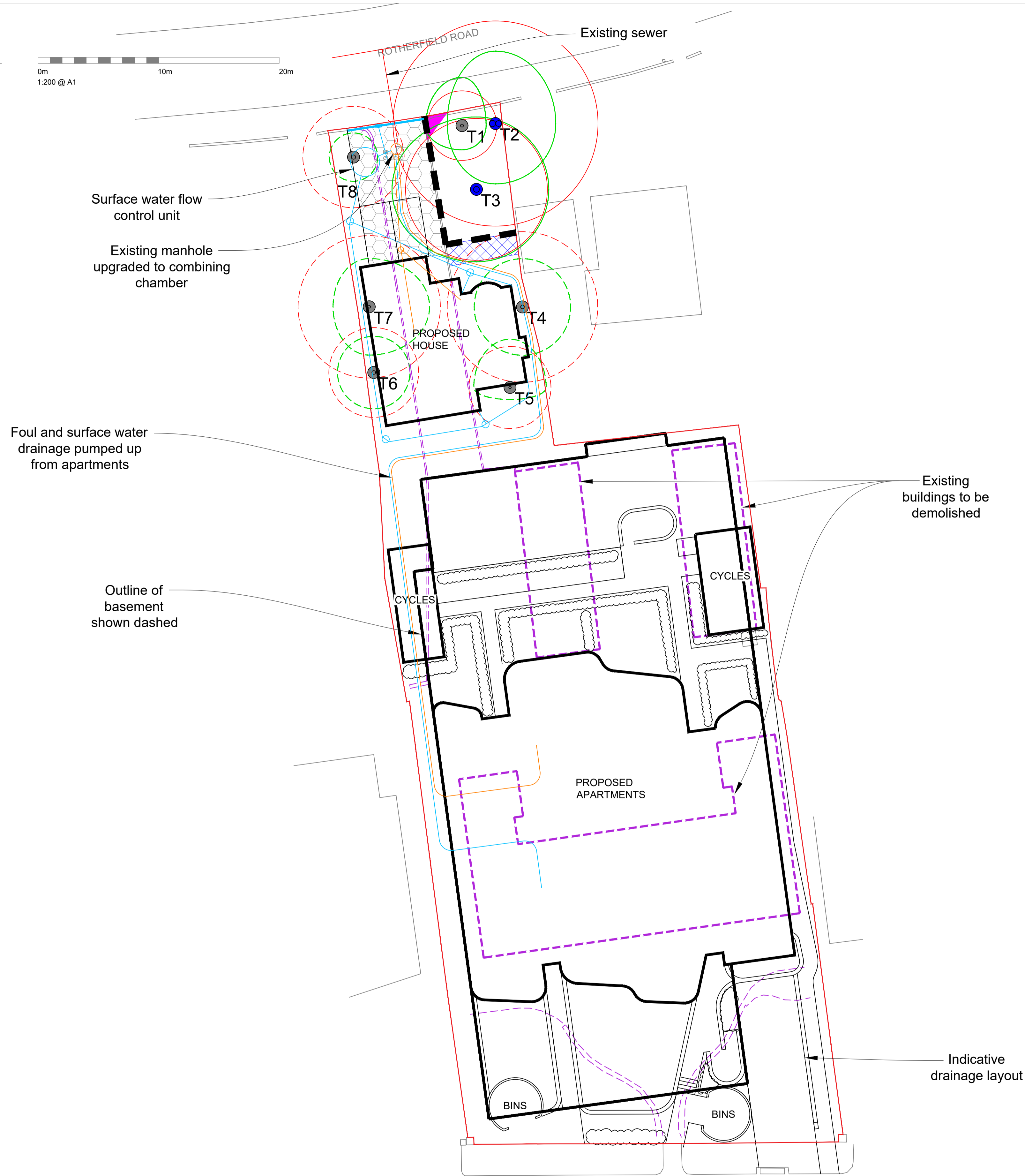
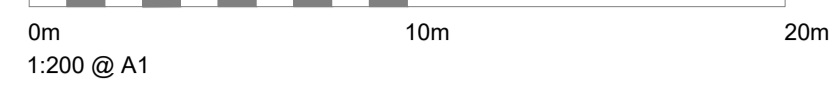
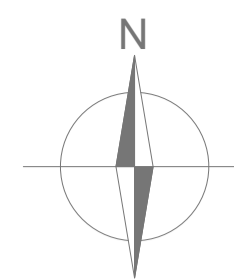
**General Construction Management**

There must be no changes to soil levels within tree root protection areas.

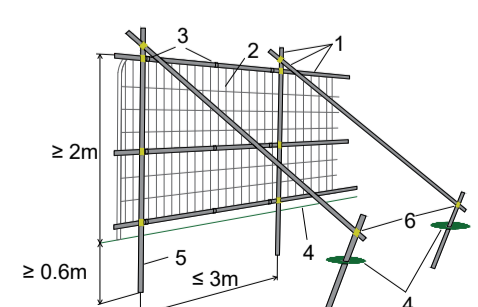
Fires must not be set within the site.

Cement and concrete mixing must be carried out only where there is no significant risk of contamination of tree root systems. If mixing is unavoidable within 10m of any retained tree it must be contained in a bunded area, as illustrated below.

Cranes must only be used where there is no possibility of them damaging overhanging branches.

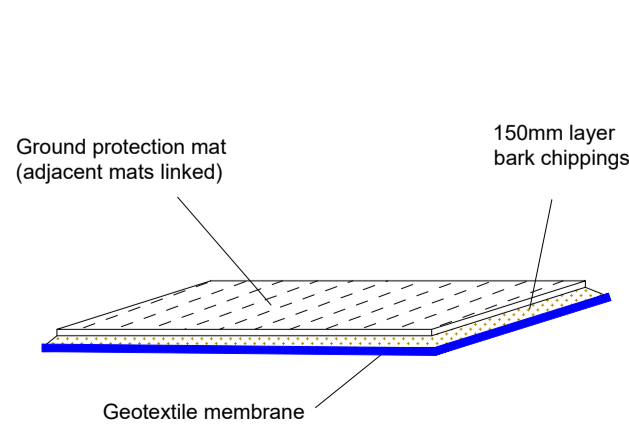


**Tree Protection Fencing Specification**

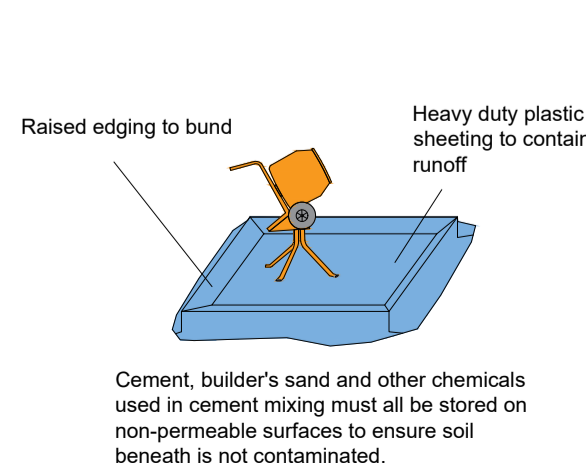


- Key:
- Standard scaffold poles.
  - Heavy gauge 2m tall galvanized tube and welded mesh infill panels.
  - Uprights driven into the ground until secure (minimum depth 0.6m).
  - Standard scaffold clamps.

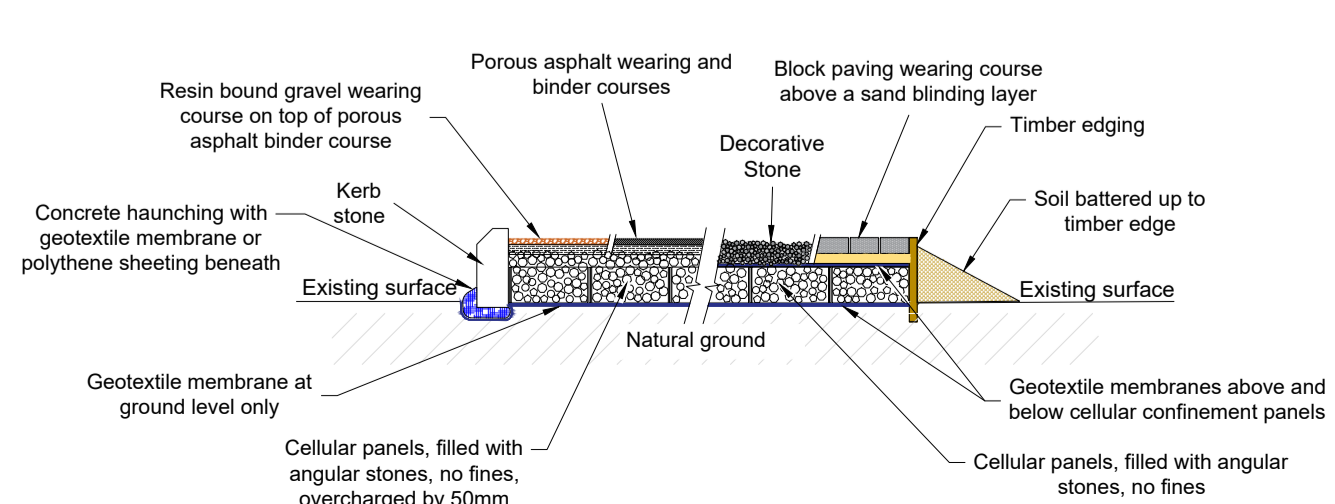
**Temporary Ground Protection Specification**



**Illustration of bunded cement mixing area**

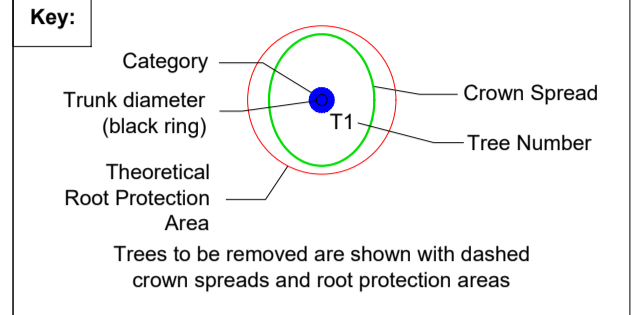


**Indicative sections of cellular confinement system with a range of surface finishes**



Title:	Tree Protection Plan & Arboricultural Method Statement
Site:	Purbeck Court, 65-67 Boscombe Overcliff Drive
TC Ref:	DS/92724/AC
Date:	17 June 2025
Scale:	1:200 @ A1

Plan TC1



British Standard 5837:2012 Categories	
Green circle	'A' category trees are those of high quality.
Blue circle	'B' category trees are those of moderate quality.
Grey circle	'C' category trees are those of low quality or young trees with a stem diameter below 150mm.
Red circle	'U' category trees are those that are unsuitable for retention.

Tree protection fencing to be erected prior to the commencement of any works on the site.

Ground protection to be installed prior to the commencement of works on site.

Area where re-grading must be carried out in accordance with method statement.

**Supervision of Arboriculturally Sensitive Operations**

The project arboriculturist must supervise or be involved at the following points in the construction process:

Pre-commencement site meeting.

Planning of underground services.

As any other arboricultural issues arise.

**Contact Details for Relevant Parties**

Role	Company / Organisation	Name	Phone Number
Contractor			
Architect	ARC Architecture	Arron Emmanuel	01202 479919
Arboricultural Consultant	Treecall Consulting	Andrew Cleaves	01202 462602
Arboricultural Officer	BCP Council		01202 123321

**Limitations of Use**

This plan is based on the topographical and site layout plans provided. All measurements must be checked with these plans and appropriate documents.

This plan has been prepared in colour. If printed in black and white some details may be obscured.

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W: www.treecall.co.uk

**Arboricultural Method Statement**

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See illustration below for specification of the tree protection fencing to be erected on the site.

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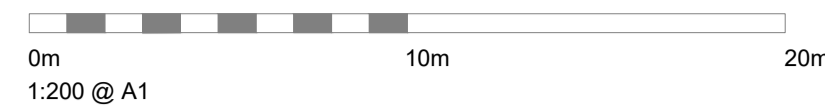
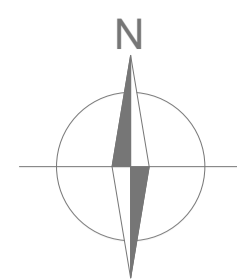
**General Construction Management**

There must be no changes to soil levels within tree root protection areas.

Fires must not be set within the site.

Cement and concrete mixing must be carried out only where there is no significant risk of contamination of tree root systems. If mixing is unavoidable within 10m of any retained tree it must be contained in a bunded area, as illustrated below.

Cranes must only be used where there is no possibility of them damaging overhanging branches.

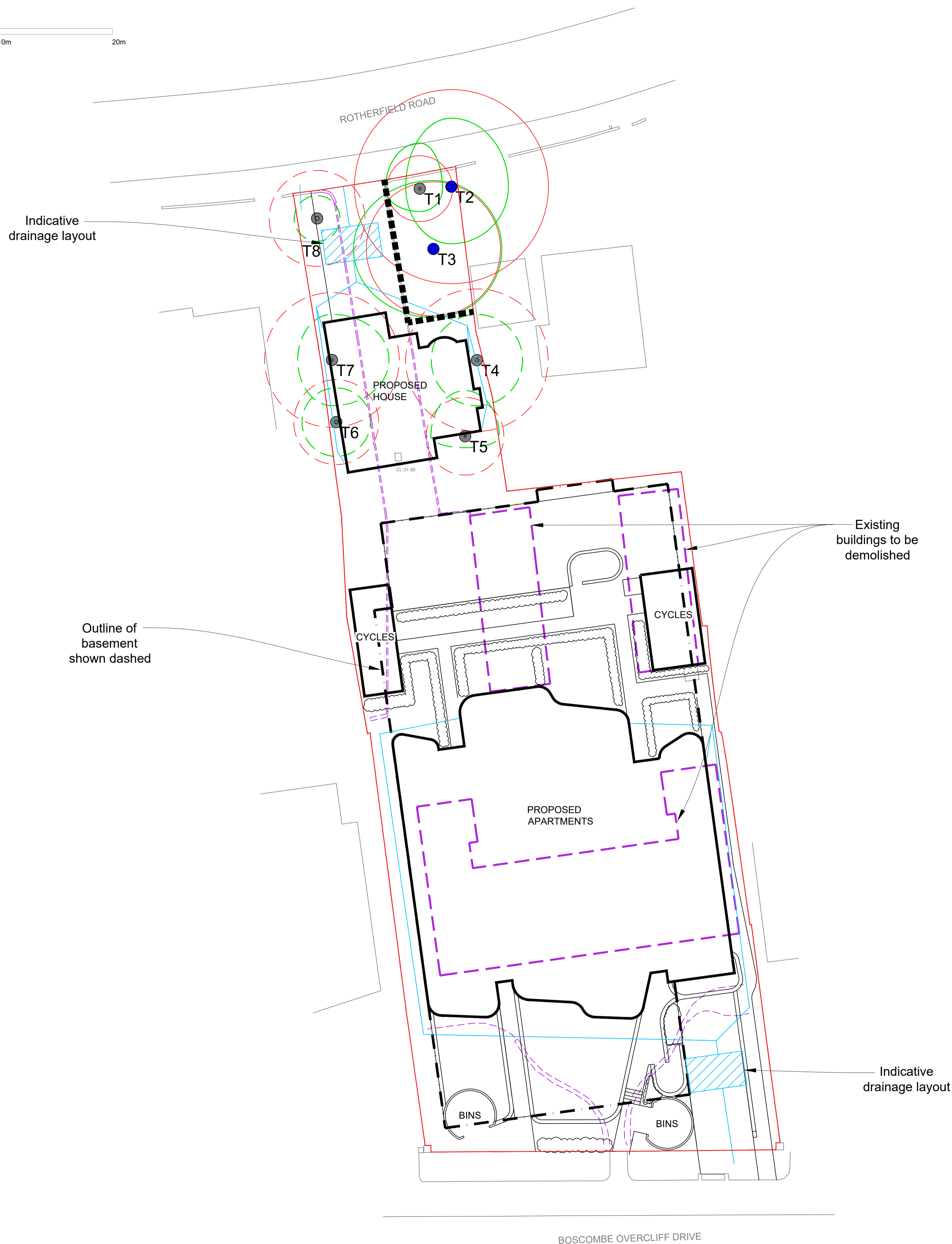


Indicative drainage layout

Outline of basement shown dashed

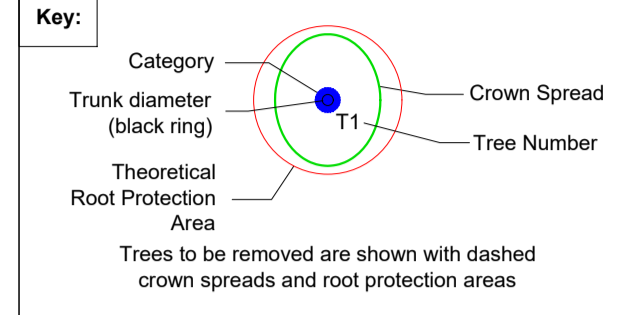
Existing buildings to be demolished

Indicative drainage layout



Title:	Tree Protection Plan & Arboricultural Method Statement
Site:	Purbeck Court, 65-67 Boscombe Overcliff Drive
TC Ref:	DS/92724/AC
Date:	26 February 2024
Scale:	1:200 @ A1

Plan TC1



**British Standard 5837:2012 Categories**

- 'A' category trees are those of high quality.
- 'B' category trees are those of moderate quality.
- 'C' category trees are those of low quality or young trees with a stem diameter below 150mm.
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Tree protection fencing to be erected prior to the commencement of any works on the site.

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- Planning of underground services.
- As any other arboricultural issues arise.

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Contractor			
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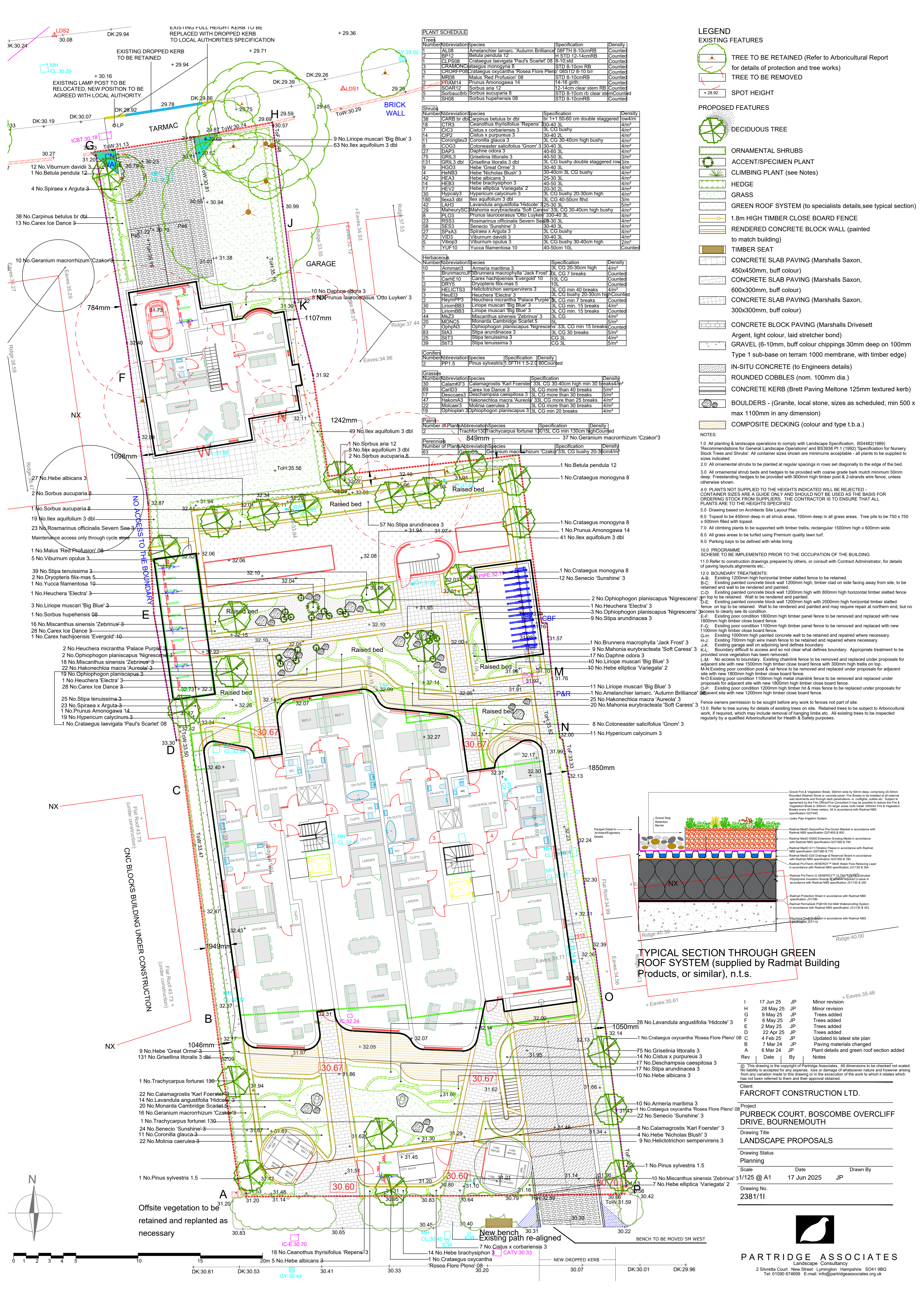
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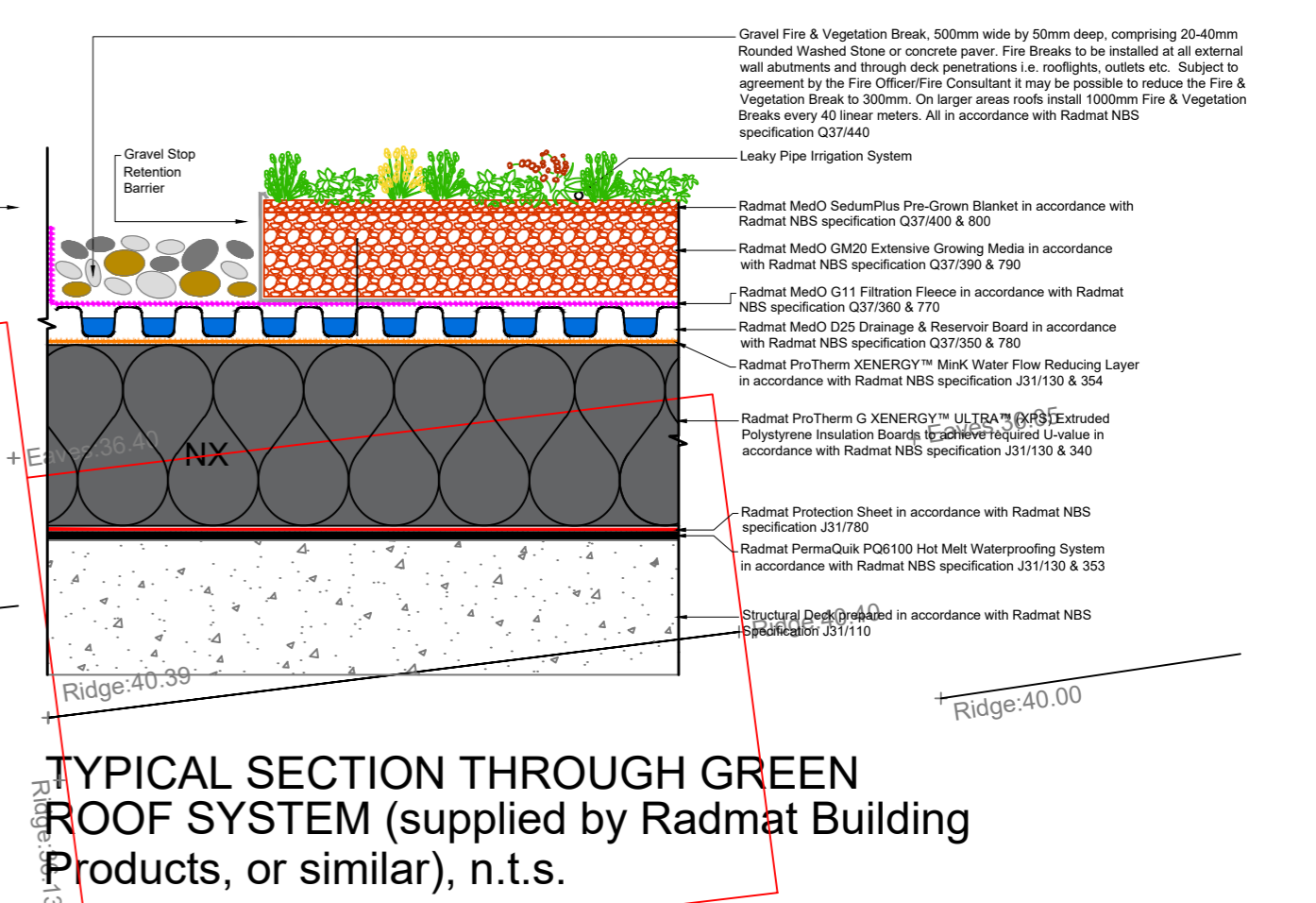
Number	Abbreviation	Species	Specification	Density
1	AL08	Amelanchier lamarc.	'Autumn Brilliance' 8-10cm RB	Counted
2	BP12	Betula pendula 12	H STD 12-14cm RB	Counted
3	CLPS08	Crataegus laevigata 'Paul's Scarlet' 08	8-10 std	Counted
4	CRAMONC	Crataegus monogyna 8	STD 8-10cm RB	Counted
5	CRORFP08	Crataegus oxyacantha 'Rosea Flore Pleno'	'08STD 8-10 bir	Counted
6	HEB08	Hebe 'Great Orme' 08	STD 8-10cm RB	Counted
7	IRAM14	Prunus Amonogawa 14	14-16 girh;	Counted
8	SOAR12	Sorbus aria 12	12-14cm clear stem RB	Counted
9	Sorbauc8rb	Sorbus aucuparia 8	STD 8-10cm rb clear stem Counted	Counted
10	SH08	Sorbus hupensis 08	STD 8-10cm RB	Counted

Number	Abbreviation	Species	Specification	Density
18	CTR3	Ceanothus thyrsifolius 'Repens'	30-40 3L	4/m <sup>2</sup>
7	CIC3	Cistus x corbariensis 3	3L CG bushy	4/m <sup>2</sup>
14	CIP2	Cistus x purpureus 3	30-40 2L	4/m <sup>2</sup>
11	Corongla3	Coronilla glauca 3	3L CG 30-40cm high bushy	4/m <sup>2</sup>
8	COG3	Cotoneaster salicifolius 'Gnom'	30-40 3L	4/m <sup>2</sup>
27	DAP3	Daphne odora 3	40-60 3L	4/m <sup>2</sup>
75	GRIL3	Griselinia littoralis 3	40-60 3L	3/m <sup>2</sup>
131	GRIL3	Griselinia littoralis 3 dbl	3L CG bushy double staggered row	3/m <sup>2</sup>
9	HGO3	Hebe 'Great Orme' 3	30-40 3L	4/m <sup>2</sup>
4	HeNB3	Hebe 'Nicholas Blush' 3	30-40cm 3L CG bushy	4/m <sup>2</sup>
42	HEA3	Hebe albicans 3	25-30 3L	4/m <sup>2</sup>
14	HEB3	Hebe elliptica 'Variegata' 2	40-50 3L	4/m <sup>2</sup>
17	HEV2	Hebe elliptica 'Variegata' 2	20-30 CG	4/m <sup>2</sup>
30	Hypcal3	Hypericum calycinum 3	3L CG bushy 20-30cm high	4/m <sup>2</sup>
180	Ilex3	Ilex aquifolium 3 dbl	3L CG 40-50cm thd	3/m <sup>2</sup>
42	LAV3	Lavandula angustifolia 'Hidcot' 3	25-30 3L	4/m <sup>2</sup>
29	Mahoniac3	Mahonia eurybracteata 'Soft Caress' 3	3L CG 30-40cm high bushy	4/m <sup>2</sup>
8	PL03	Prunus laurocerasus 'Otto Luyken' 3	30-40 3L	4/m <sup>2</sup>
23	RSS3	Rosmarinus officinalis 'Severn Sea' 3	20-30 3L	4/m <sup>2</sup>
58	SESS3	Senecio 'Sunshine' 3	30-40 3L	4/m <sup>2</sup>
27	SPIA3	Spiraea x Arguta 3	3L CG bushy	4/m <sup>2</sup>
12	VID3	Viburnum davidii 3	30-40 3L	4/m <sup>2</sup>
5	Vibop3	Viburnum opulus 3	3L CG bushy 30-40cm high	2/m <sup>2</sup>
1	YUF10	Yucca filamentosa 10	40-50cm 10L	Counted

- LEGEND**
- EXISTING FEATURES**
- TREE TO BE RETAINED (Refer to Arboricultural Report for details of protection and tree works)
  - TREE TO BE REMOVED
  - SPOT HEIGHT
- PROPOSED FEATURES**
- DECIDUOUS TREE
  - ORNAMENTAL SHRUBS
  - ACCENT/SPECIMEN PLANT
  - CLIMBING PLANT (see Notes)
  - HEDGE
  - GRASS
  - GREEN ROOF SYSTEM (to specialists details, see typical section)
  - 1.8m HIGH TIMBER CLOSE BOARD FENCE
  - RENDERED CONCRETE BLOCK WALL (painted to match building)
  - TIMBER SEAT
  - CONCRETE SLAB PAVING (Marshalls Saxon, 450x450mm, buff colour)
  - CONCRETE SLAB PAVING (Marshalls Saxon, 600x300mm, buff colour)
  - CONCRETE SLAB PAVING (Marshalls Saxon, 300x300mm, buff colour)
  - CONCRETE BLOCK PAVING (Marshalls Drivesett Argent, light colour, laid stretcher bond)
  - GRAVEL (6-10mm, buff colour chippings 30mm deep on 100mm Type 1 sub-base on terram 1000 membrane, with timber edge)
  - IN-SITU CONCRETE (to Engineers details)
  - ROUNDED COBBLES (nom. 100mm dia.)
  - CONCRETE KERB (Brett Paving Meltone 125mm textured kerb)
  - BOULDERS - (Granite, local stone, sizes as scheduled, min 500 x max 1100mm in any dimension)
  - COMPOSITE DECKING (colour and type t.b.a.)

- NOTES**
- All planting & landscape operations to comply with Landscape Specification, BS4482(1989) 'Recommendations for General Landscape Operations' and BS3936 Pt 1 (1992) 'Specification for Nursery Stock Trees and Shrubs'. All container sizes shown are minimums acceptable - all plants to be supplied to sizes indicated.
  - All ornamental shrubs to be planted at regular spacings in rows set diagonally to the edge of the bed.
  - All ornamental shrub beds and hedges to be provided with coarse grade bark mulch minimum 50mm deep. Freestanding hedges to be provided with 900mm high timber post & 2-strands wire fence, unless otherwise shown.
  - PLANTS NOT SUPPLIED TO THE HEIGHTS INDICATED WILL BE REJECTED - CONTAINER SIZES ARE A GUIDE ONLY AND SHOULD NOT BE USED AS THE BASIS FOR ORDERING STOCK FROM SUPPLIERS. THE CONTRACTOR IS TO ENSURE THAT ALL PLANTS ARE TO THE HEIGHTS SPECIFIED.
  - Drawing based on Architects Site Layout Plan
  - Topsoil to be 450mm deep in all shrub areas, 100mm deep in all grass areas. Tree pits to be 750 x 750 x 500mm filled with topsoil.
  - All grass areas to be turfed using Premium quality lawn turf.
  - Parking bays to be defined with white lining
  - PROGRAMME SCHEME TO BE IMPLEMENTED PRIOR TO THE OCCUPATION OF THE BUILDING.
  - Refer to construction drawings prepared by others, or consult with Contract Administrator, for details of paving layouts, alignments etc.
  - BOUNDARY TREATMENTS:
    - A-B: Existing 1200mm high horizontal timber slatted fence to be retained.
    - B-C: Existing painted concrete block wall 1200mm high, timber clad on side facing away from site, to be retained and wall to be rendered and painted.
    - C-D: Existing painted concrete block wall 1200mm high with 800mm high horizontal timber slatted fence on top to be retained. Wall to be rendered and painted and may require repair at northern end, but no access to be retained. Wall to be rendered and painted.
    - D-E: Existing painted concrete block wall 1200mm high with 200mm high horizontal timber slatted fence on top to be retained. Wall to be rendered and painted and may require repair at northern end, but no access to be retained. Wall to be rendered and painted.
    - E-F: Existing poor condition 1800mm high timber panel fence to be removed and replaced with new 1800mm high timber close board fence.
    - F-G: Existing poor condition 1100mm high timber panel fence to be removed and replaced with new 1100mm high timber close board fence.
    - G-H: Existing 1000mm high painted concrete wall to be retained and repaired where necessary.
    - H-I: Existing 700mm high wire mesh fence to be retained and repaired where necessary.
    - I-J: No access to boundary. Existing chainlink fence to be removed and replaced under proposals for adjacent site with new 1500mm high timber close board fence with 300mm high trellis on top.
    - M-N: Existing poor condition post & rail fence to be removed and replaced under proposals for adjacent site with new 1800mm high timber close board fence.
    - N-O: Existing poor condition 1100mm high metal chainlink fence to be removed and replaced under proposals for adjacent site with new 1800mm high timber close board fence.
    - O-P: Existing poor condition 1200mm high timber hit & miss fence to be replaced under proposals for adjacent site with new 1200mm high timber close board fence.
  - Fence owners permission to be sought before any work to fences not part of site.
  - Refer to tree survey for details of existing trees on site. Retained trees to be subject to Arboricultural work, if required, which may include removal of hanging limbs etc. All existing trees to be inspected regularly by a qualified Arboriculturalist for Health & Safety purposes.



Rev	Date	By	Notes
I	17 Jun 25	JP	Minor revision
H	28 May 25	JP	Minor revision
G	9 May 25	JP	Trees added
F	6 May 25	JP	Trees added
E	2 May 25	JP	Trees added
D	22 Apr 25	JP	Trees added
C	4 Feb 25	JP	Updated to latest site plan
B	7 Mar 24	JP	Paving materials changed
A	6 Mar 24	JP	Plant details and green roof section added

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**Client**  
FARCROFT CONSTRUCTION LTD.

**Project**  
PURBECK COURT, BOSCOMBE OVERCLIFF DRIVE, BOURNEMOUTH

**Drawing Title**  
LANDSCAPE PROPOSALS

**Drawing Status**  
Planning

**Scale**  
1:125 @ A1

**Date**  
17 Jun 2025

**Drawn By**  
JP

**Drawing No.**  
2381/11