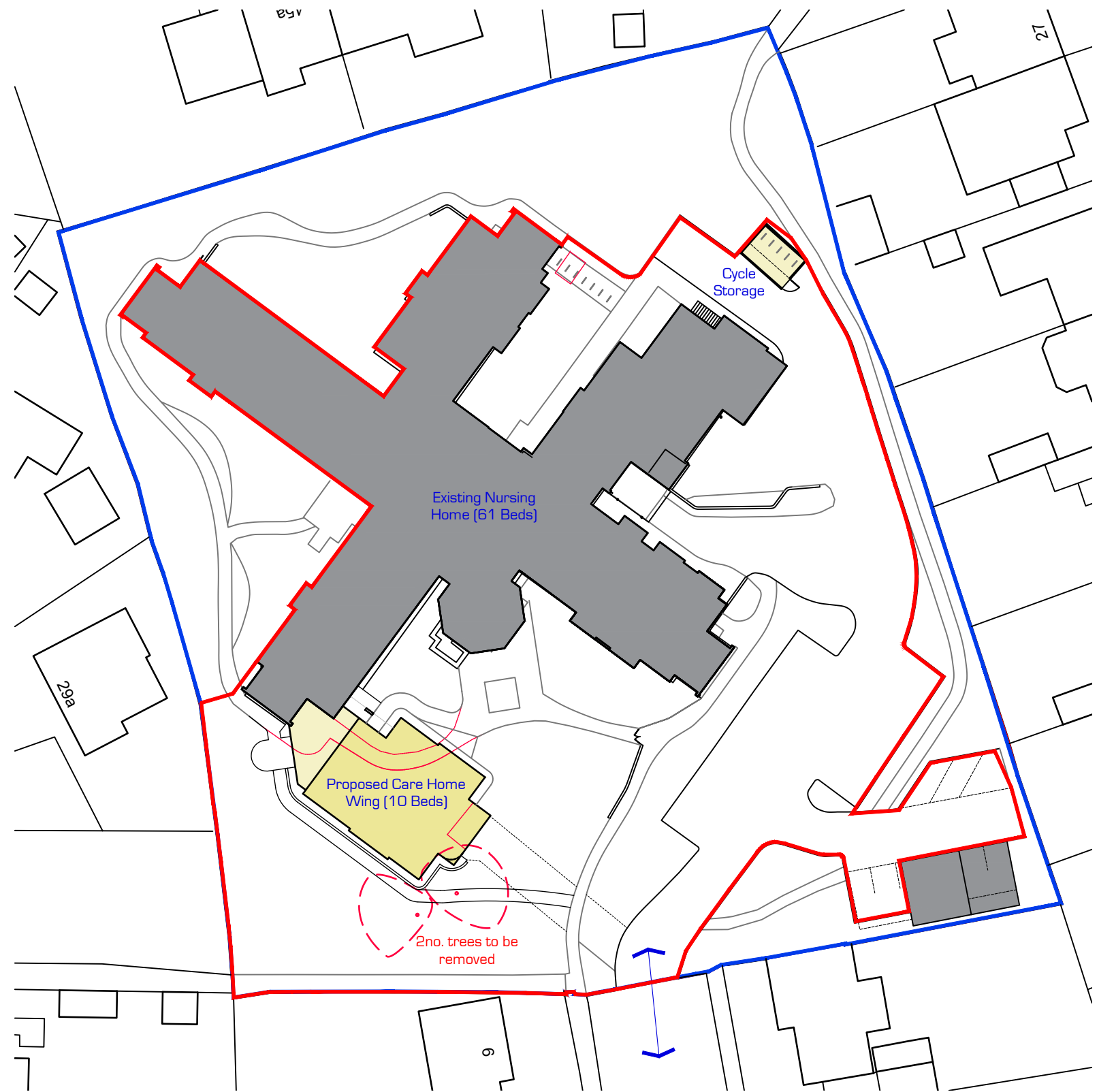


Location Plan as Existing
(1:1250)



Block Plan as Proposed
(1:500)



Revision B - 17.01.24 - Revised Application Issue
Revision A - 23.08.21 - Cycle Storage Shown

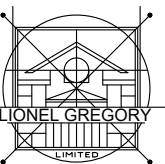
Care Home Extension
at
Silverways Nursing Home,
Highcliffe

Date: 11.08.21 Scale: As Stated @ A3 Drawn: NJL

Location Plan and Block Plan

5216

07B



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ARCHITECTS
UNIT 31, FULCRUM BUSINESS PARK
VANTAGE WAY, POOLE
DORSET BH12 4NU
TEL: (01202) 723157
FAX: (01202) 746464
E-MAIL: office@lionelgregory.co.uk



Revision A - 25.08.21 - Minor Updates

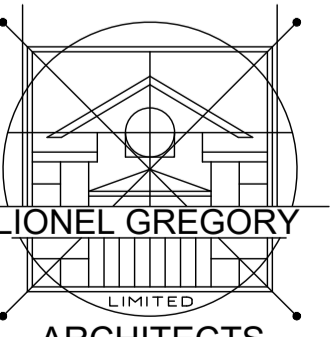
Care Home Extension
at
Silverways Nursing Home,
Highcliffe

Date: 12.08.21 Scale: 1:200 @ A1 Drawn: NJL

Site Plan/Ground Floor Plan as Existing

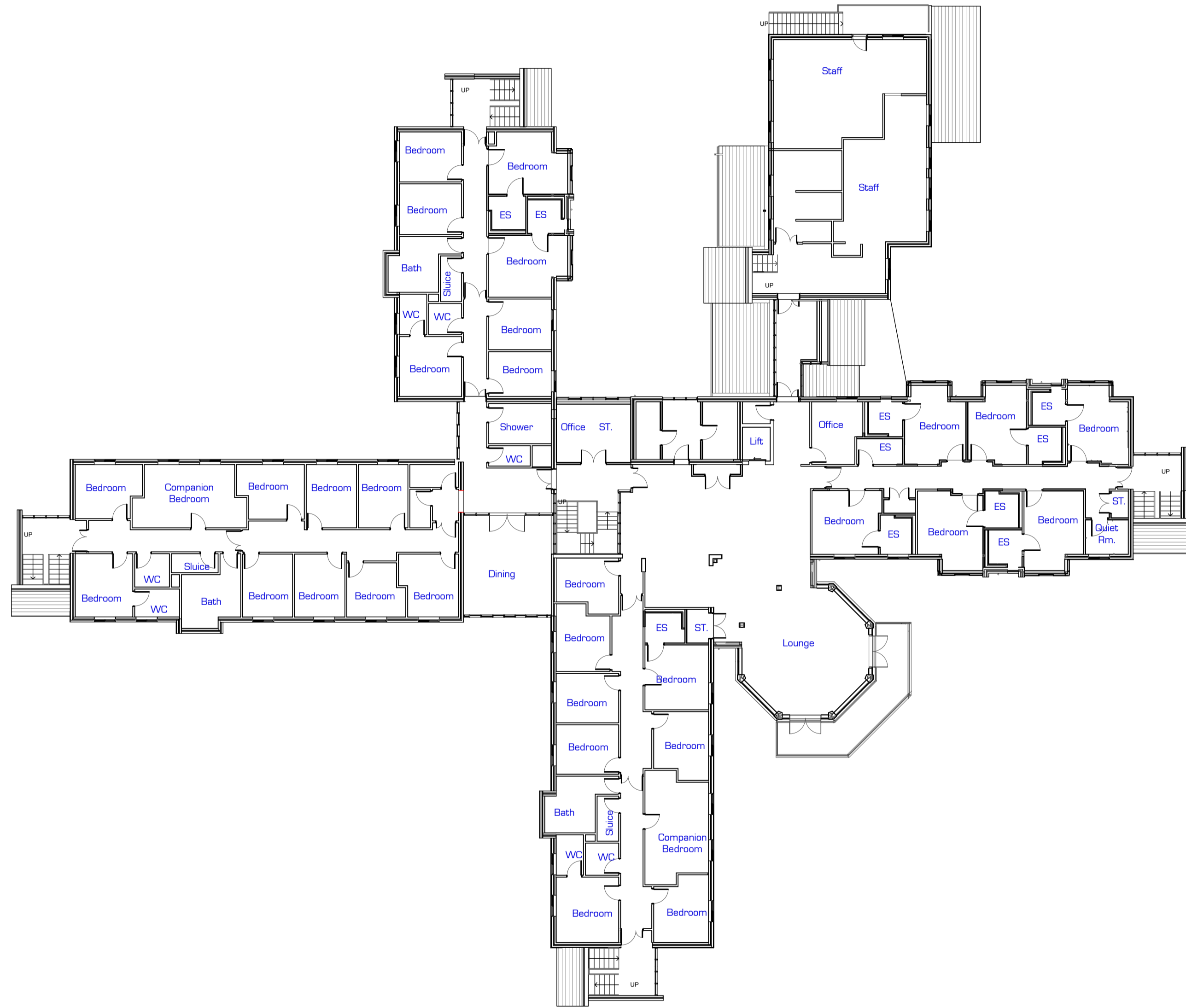
5216

10A

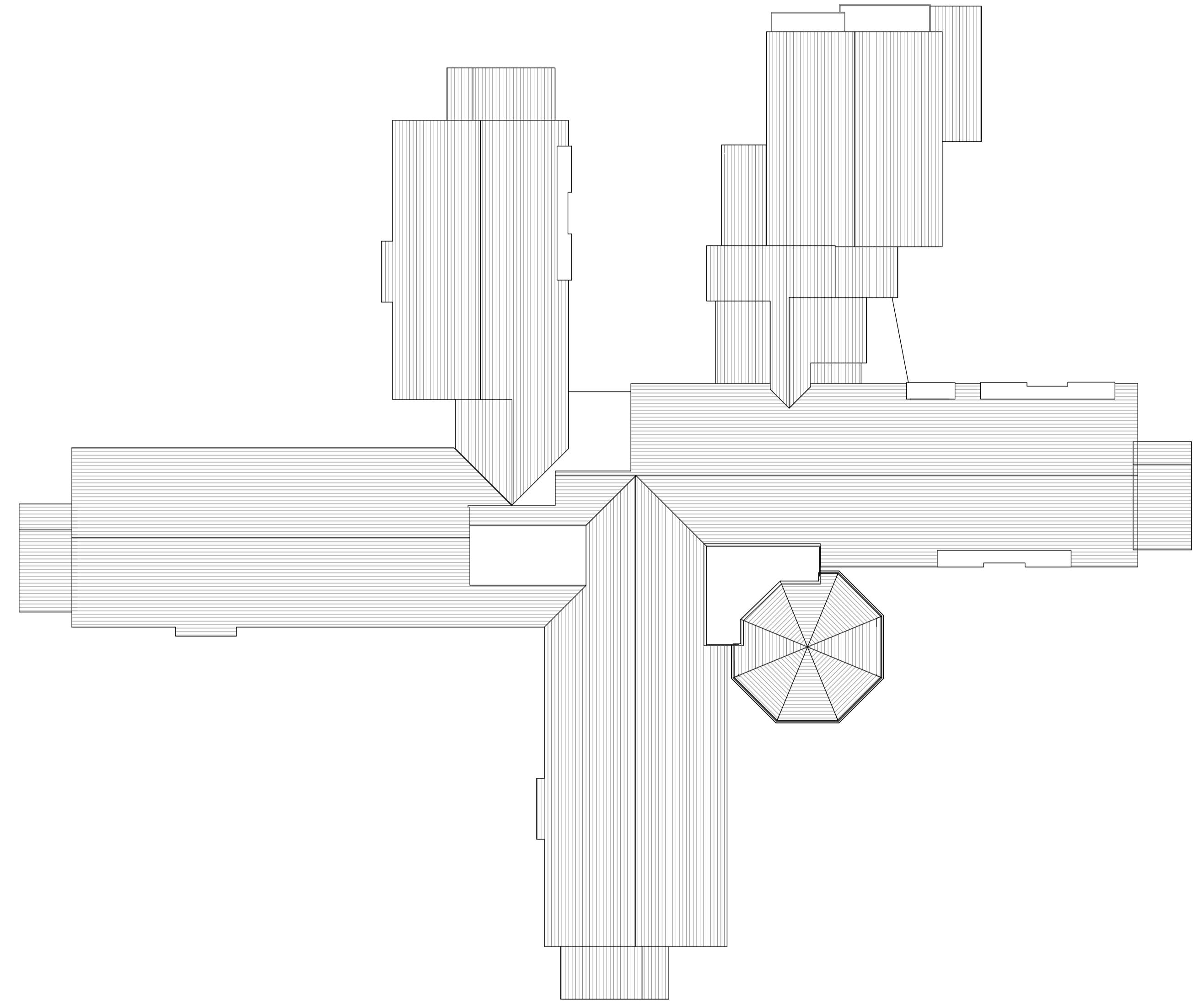


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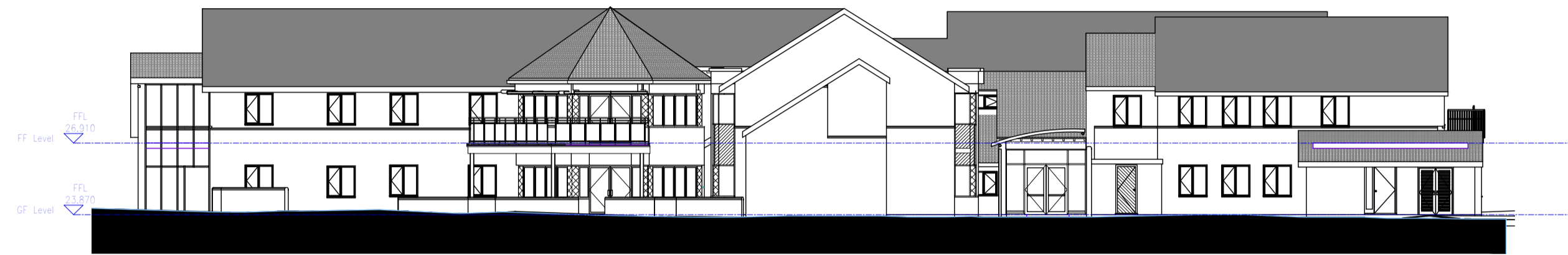
ARCHITECTS
UNIT 11, FULCRUM BUSINESS PARK
VANTAGE WAY, POOLE
DORSET, BH12 4NU
TEL: (01202) 723157
FAX: (01202) 745494
E-MAIL: office@lionelgregory.co.uk



First Floor Plan as Existing



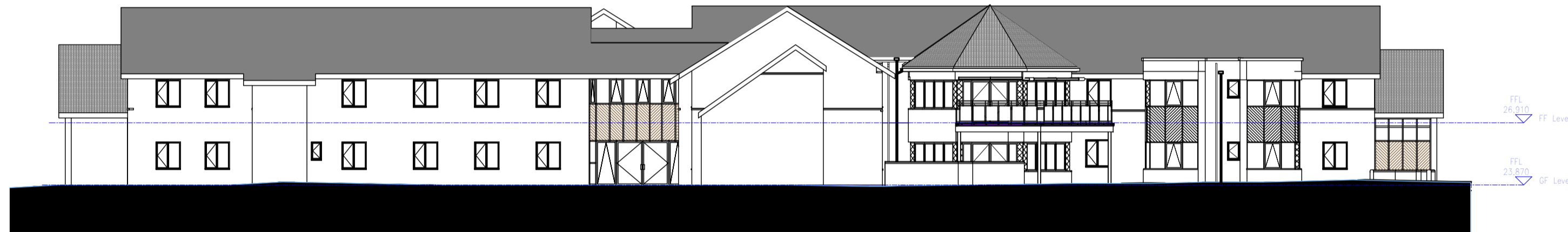
Roof Plan as Existing



South East Elevation as Existing



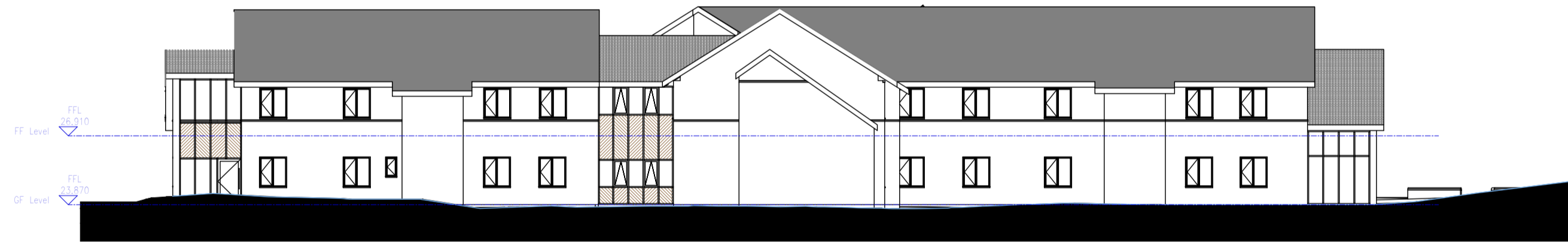
South Elevation as Existing



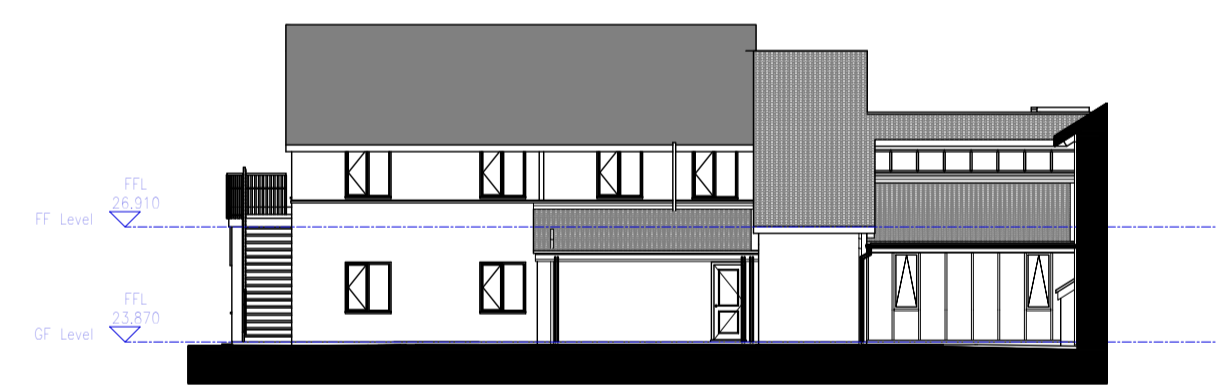
South West Elevation as Existing



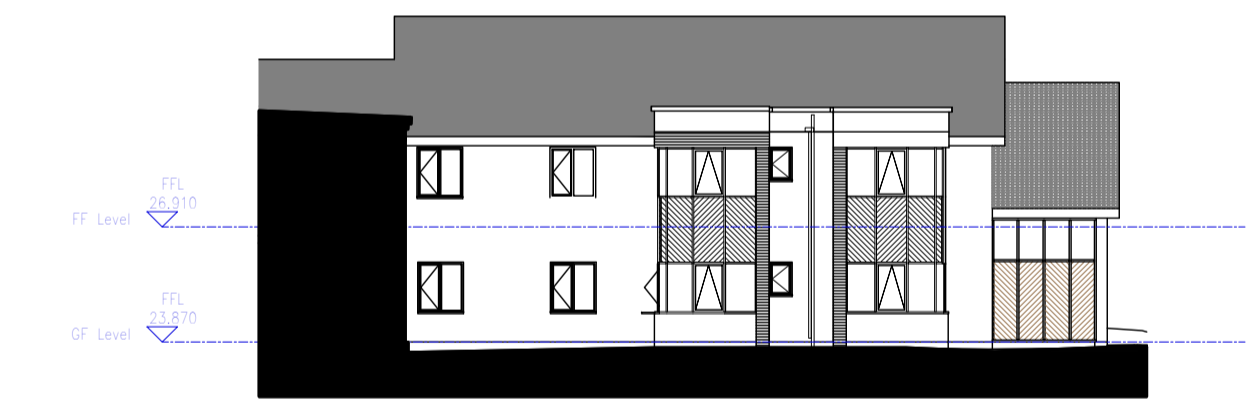
North East Sectional Elevation as Existing



North West Elevation as Existing



North West Elevation Courtyard as Existing



South East Courtyard Elevation as Existing

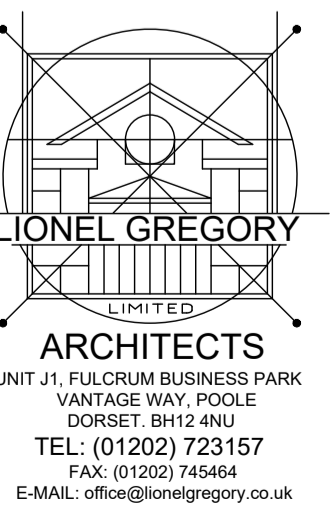
Care Home Extension
at
Silverways Nursing Home,
Highcliffe

Date: 12.08.21 Scale: 1:200 @ A1 Drawn: NJL

Elevations as Existing

5216

12



Note: This drawing is only issued for the purposes stated above. Lionel Gregory Ltd do not consent to its use for any other purposes such as for construction

Legend

| | |
|--|---------------------------|
| | Site Boundary |
| | Root Protection Zone |
| | RPZ Intrusion |
| | Area of Extension |
| | Area of Existing Building |
| | Existing Tree Canopy |

(1) All ground within root protection areas, other than those areas hatched accordingly, are to be maintained at existing ground levels

(2) Proposed alternative location for small leaved lime trees as specified in planning application 8/17/2023/FUL.

(3) Proposed alternative location for Rowan trees as specified in planning application 8/17/2023/FUL

(4) Proposed alternative location for double gean trees as specified in planning application 8/17/2023/FUL



Revision O - 16/04/25 - Revised Plan notes
 Revision N - 17/01/24 - Coloured Planning Issue
 Revision M - 20/11/24 - Red & blue line amended.
 Revision L - 19/11/24 - Red & blue line amended.
 Revision K - 22/10/24 - Scheme Update
 Revision J - 01/09/23 - Revised Scheme
 Revision H - 19/04/22 - Cycle parking moved
 Revision G - 14/04/22 - Additional cycle/car parking shown
 Revision F - 13/09/21 - Tree Detail and Colour Added
 Revision E - 25/08/21 - Parking Adjusted
 Revision D - 11/08/21 - Draft Application Set (A1)
 Revision C - 04/08/21 - Design Development/Tree Constraints Added
 Revision B - 22/06/21 - Design Development
 Revision A - 04/06/21 - Minor Updates

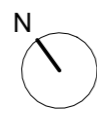
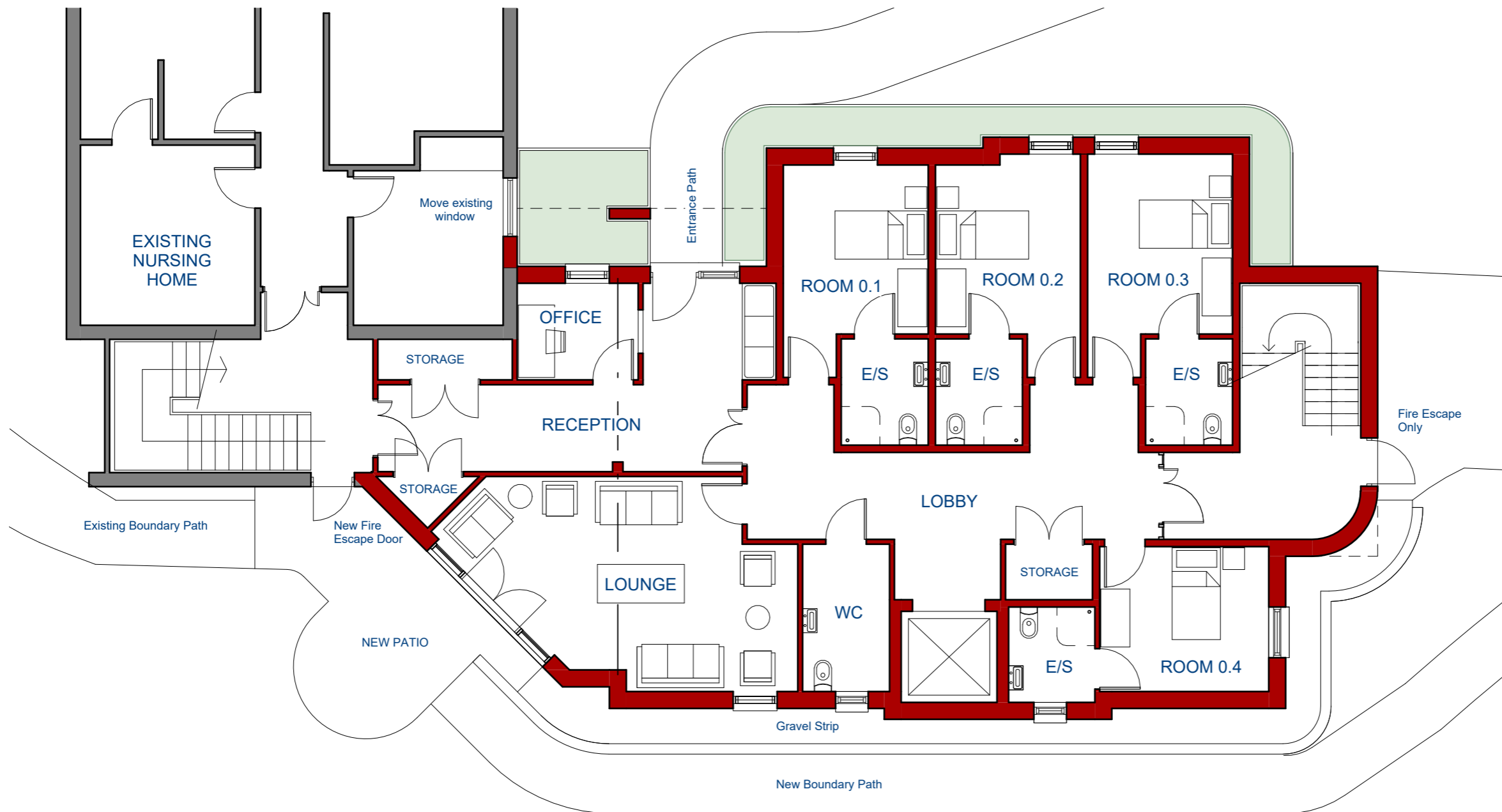
Care Home Extension
 at
 Silverways Nursing Home,
 Highcliffe

Date: 11.08.21 Scale: 1:200 @ A1 Drawn: NJL

Site Plan as Proposed

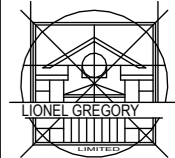
5216 01.0

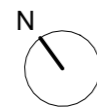
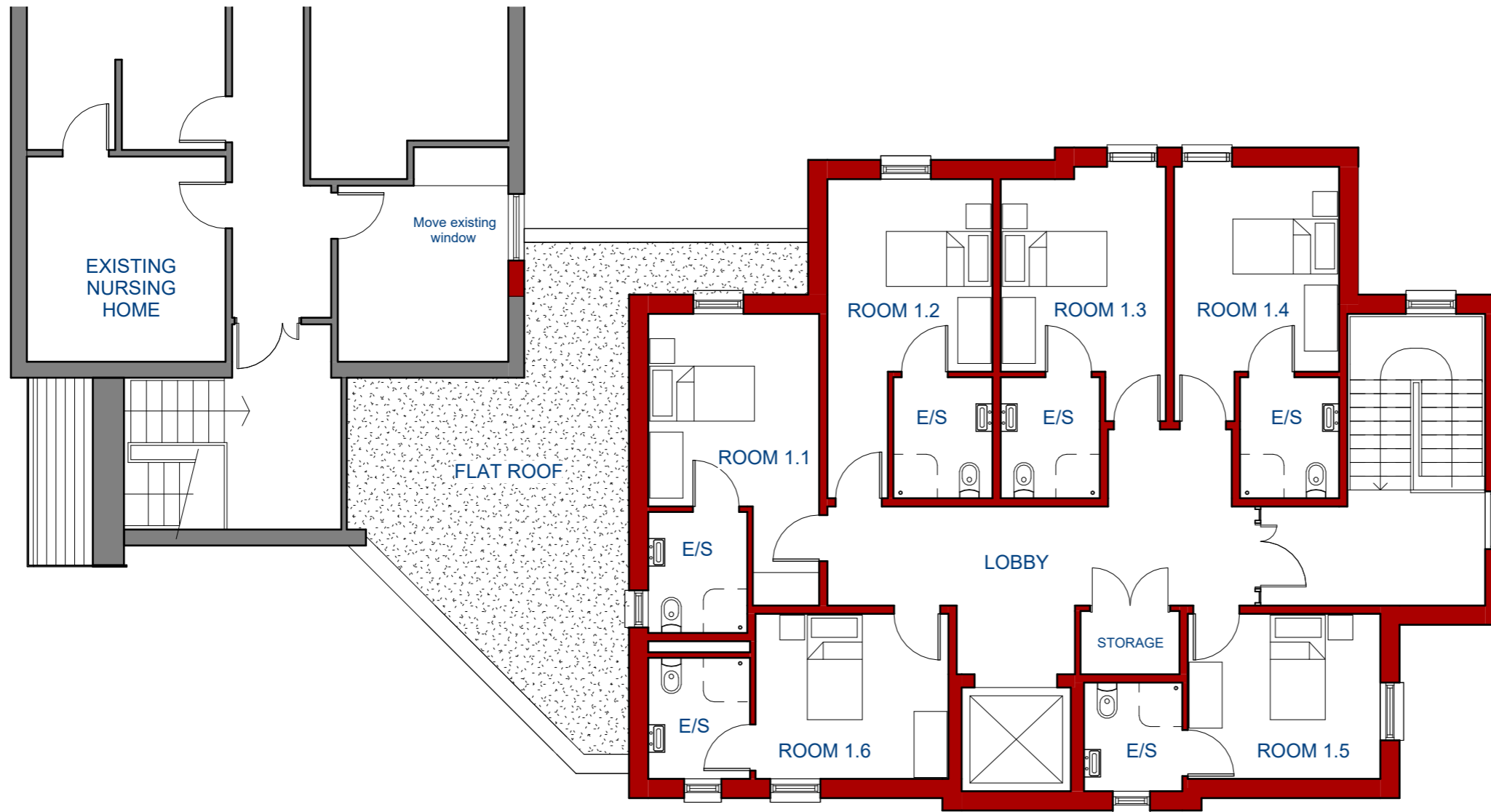




Proposed Ground Floor Plan


- Revision G - 29.09.23 - Design Development
- Revision F - 01.09.23 - Scheme Re-Design
- Revision E - 14.04.22 - Pitched Roof Scheme
- Revision D - 11.08.21 - Application Set
- Revision C - 04.08.21 - Design Development
- Revision B - 22.06.21 - Design Development
- Revision A - 04.06.21 - Minor Updates

| | | | |
|----------------------------------|-----------------|------------|--|
| Care Home Extension | | |  ARCHITECTS <small>UNIT J1, FULCRUM BUSINESS PARK DORSET BH12 4NJ VANTAGE WAY, POOLE TEL: (01202) 723157 FAX: (01202) 745464 E-MAIL: office@lionelgregory.co.uk</small> |
| at | | | |
| Silverways Nursing Home | | | |
| Silverways, Highcliffe | | | |
| for | | | |
| Christchurch Housing Association | | | |
| Date: 10.05.21 | Scale: 1:100@A3 | Drawn: NJL | |
| Proposed Ground Floor Plan | | | |
| 5216 | 02.G | | |

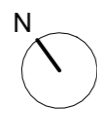
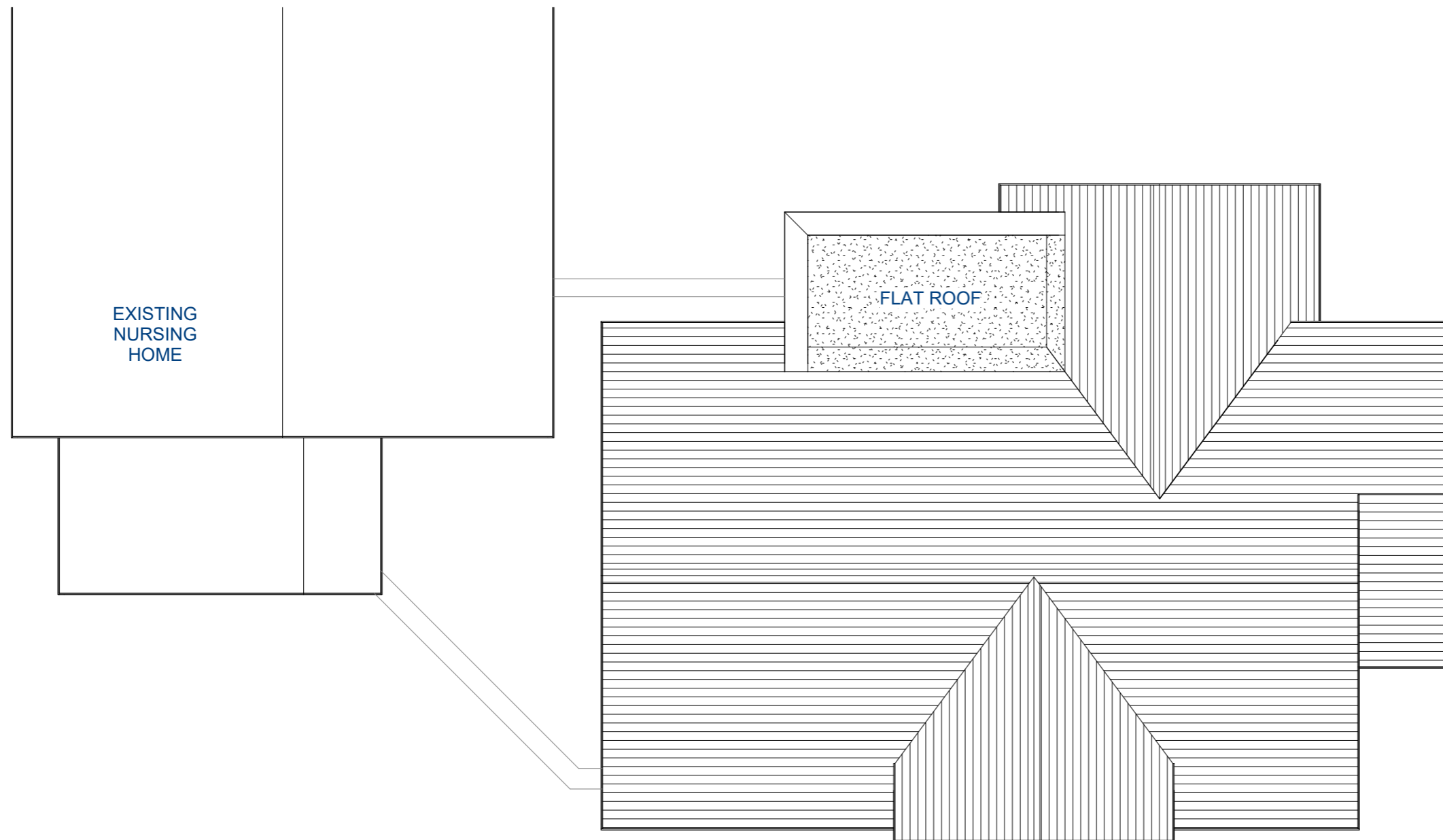


Proposed First Floor Plan

- Revision G - 29.09.23 - Design Development
- Revision F - 01.09.23 - Scheme Re-Design
- Revision E - 14.04.22 - Pitched Roof Scheme
- Revision D - 11.08.21 - Application Set
- Revision C - 04.08.21 - Design Development
- Revision B - 22.06.21 - Design Development
- Revision A - 04.06.21 - Minor Updates

| | | | |
|---|------------------|------------|---|
| Care Home Extension at Silverways Nursing Home Silverways, Highcliffe for Christchurch Housing Association | | |  LIONEL GREGORY ARCHITECTS <small>UNIT J1, FULCRUM BUSINESS PARK DORSET BH12 4NJ VANTAGE WAY, POOLE TEL: (01202) 723157 FAX: (01202) 745464 E-MAIL: office@lionelgregory.co.uk</small> |
| Date: 10.05.21 | Scale: 1: 100@A3 | Drawn: NJL | |
| Proposed First Floor Plan | | | |
| 5216 | | | 03.G |

0 2 5 10m

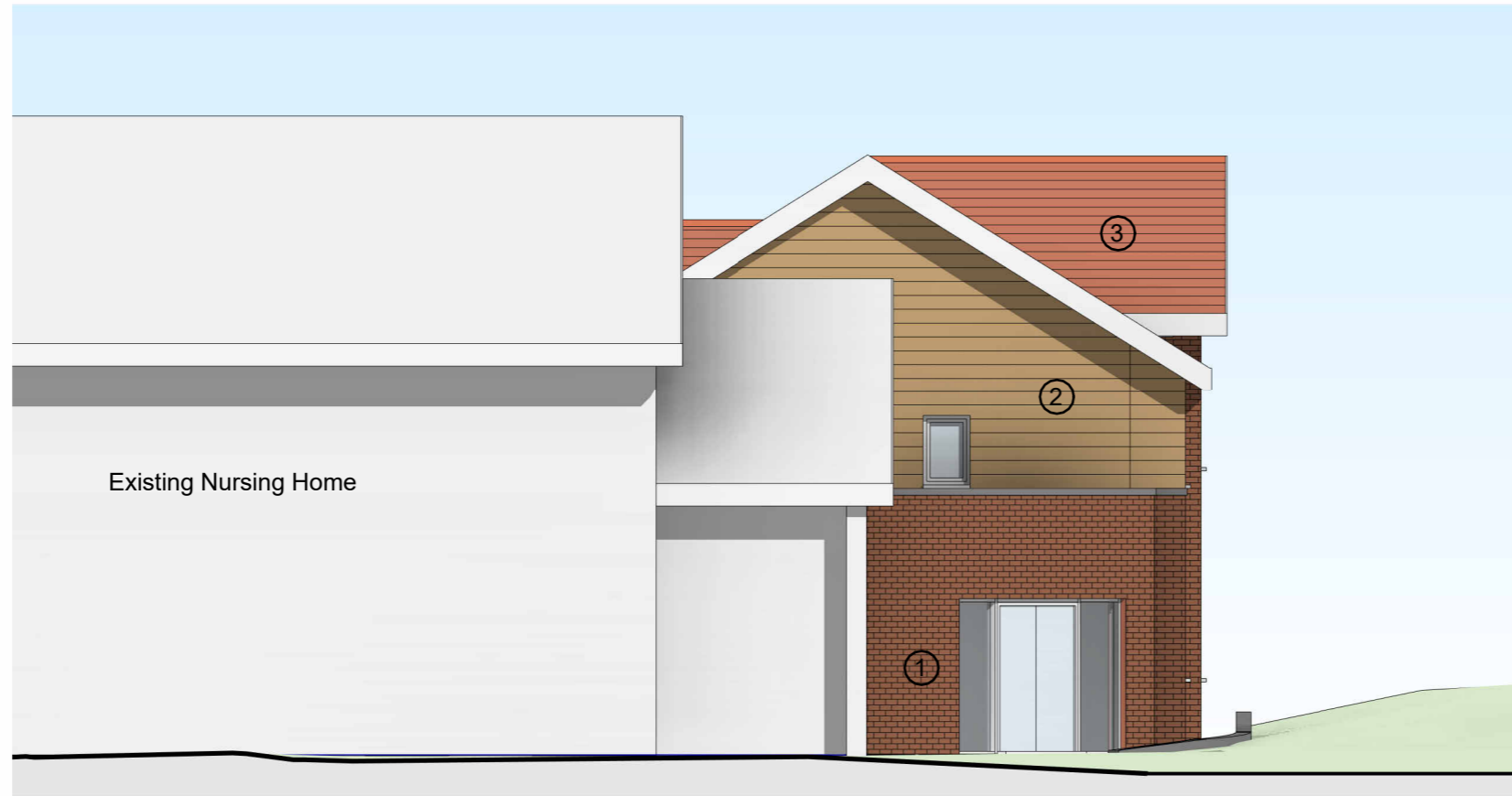


Proposed Roof Plan

Revision D - 29.09.23 - Design Development
 Revision C - 01.09.23 - Scheme Re-Design
 Revision B - 14.04.22 - Pitched Roof Scheme
 Revision A - 11.08.21 - Application Set

| | | |
|---|-----------------|------------|
| Care Home Extension at Silverways Nursing Home Silverways, Highcliffe for Christchurch Housing Association | | |
| Date: 22.06.21 | Scale: 1:100@A3 | Drawn: NJL |
| Proposed Roof Plan | | |
| 5216 | 04.D | |

ARCHITECTS
 LIONEL GREGORY
 LIMITED
 UNIT J1, FULCRUM BUSINESS PARK
 DORSET BH12 4NJ
 VANTAGE WAY, POOLE
 TEL: (01202) 723157
 FAX: (01202) 745464
 E-MAIL: office@lionelgregory.co.uk



Proposed West Elevation



Proposed East Elevation

Material Legend

- ① Red Facing Brickwork to Match Existing
- ② Horizontal Timber Cladding
- ③ Roof Tiles in Red/Brown to Match Existing
- ④ Vertical Timber Cladding

Revision D - 29.09.23 - Scheme Re-Design
 Revision C - 14.04.22 - Pitched Roof Scheme
 Revision B - 25.08.21 - Cladding Changed
 Revision A - 11.08.21 - Draft Application Set

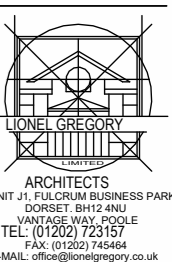
Care Home Extension
 at
 Silverways Nursing Home
 Silverways, Highcliffe
 for
 Christchurch Housing Association

Date: 22.06.21 Scale: 1:100@A3 Drawn: NJL

Proposed Elevations Sheet 1

5216

05.D





Proposed South Elevation

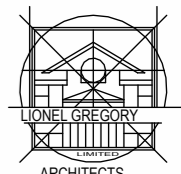


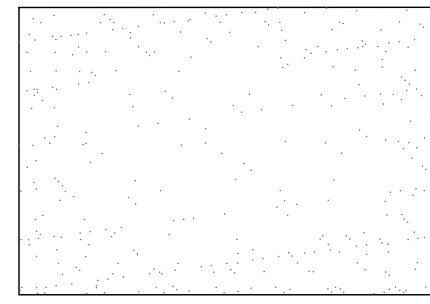
Proposed North Elevation

Material Legend

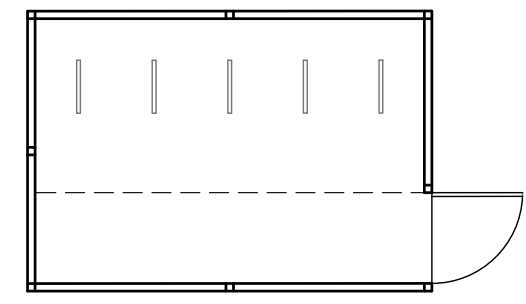
- ① Red Facing Brickwork to Match Existing
- ② Horizontal Timber Cladding
- ③ Roof Tiles in Red/Brown to Match Existing
- ④ Vertical Timber Cladding

Revision C - 29.09.23 - Scheme Re-Design
 Revision B - 14.04.22 - Pitched Roof Scheme
 Revision A - 11.08.21 - Draft Application Set

| | | | |
|---|-----------------|------------|--|
| Care Home Extension at Silverways Nursing Home Silverways, Highcliffe for Christchurch Housing Association | | |  ARCHITECTS UNIT J1, FULCRUM BUSINESS PARK DORSET BH12 4NJ VANTAGE WAY, POOLE TEL: (01202) 723157 FAX: (01202) 745464 E-MAIL: office@lionelgregory.co.uk |
| Date: 22.06.21 | Scale: 1:100@A3 | Drawn: NJL | |
| Proposed Elevations Sheet 2 | | | |
| 5216 | | 06.C | |



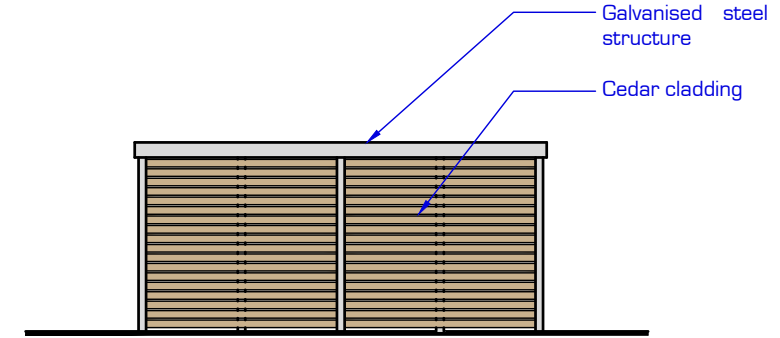
Roof Plan



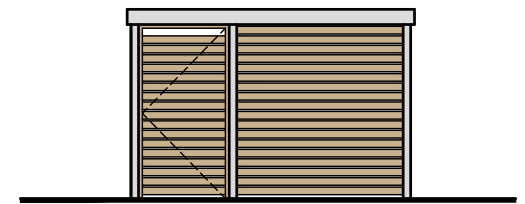
Floor Plan



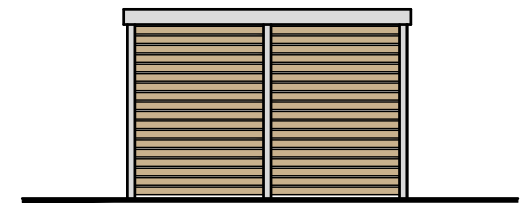
South West Elevation



North East Elevation

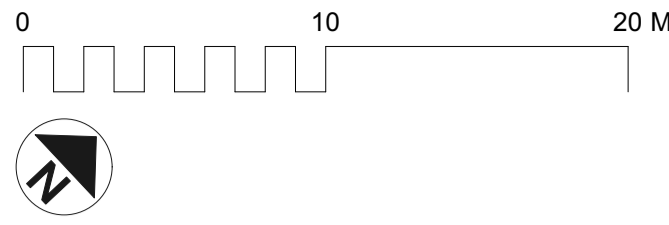


South East Elevation



North West Elevation

| | | | |
|---|-------------------|------------|---|
| Care Home Extension at Silverways Nursing Home, Highcliffe | | | <p>LIONEL GREGORY ARCHITECTS</p> <p>UNIT 31, FULCRUM BUSINESS PARK VANTAGE WAY, POOLE DORSET BH12 4NU TEL: (01202) 723157 FAX: (01202) 745464 E-MAIL: office@lionelgregory.co.uk</p> |
| Date: 13.09.21 | Scale: 1:100 @ A3 | Drawn: NJL | |
| Cycle Store Details | | | |
| 5216 | | | 08 |



BIODIVERSITY NET GAIN

Our landscape plan has been designed in conjunction with Schedule 7a of the Town and Country Planning Act (as inserted by Schedule 14 of the Environment Act 2021) as well as Dorset Council's own biodiversity net gain plan.

DESIGN NOTES

This drawing is the copyright of The Landscape Service 2017 Limited, all rights reserved. Do not scale from this drawing. All dimensions and levels to be checked. The Landscape Service 2017 Limited do not accept responsibility for any expense, loss, damage of whatsoever nature, however arising from the execution of the work to which it relates.

SURFACE WATER: Hard surfacing to comply with Sustainable Urban Drainage Systems (SUDS) where required and to BS 8552.

PERMISSIONS AND REGULATIONS: Comply with the latest revisions of the Health and Safety at Work Act, the Management of Health and Safety at Work Regulations, the Construction Design and Management Regulations (CDM), the Control of Pesticide Regulations, the EU Biocide Regulations, Plant Protection Products legislation, the Control of Substances Hazardous to Health Regulations (COSHH) and all other relevant Acts, Statutory Instruments, Regulations or Orders. Ensure compliance of employees, sub-contractors and all other persons on site. Provide adequate welfare and first aid facilities. Carry out risk assessments and prepare method statements as appropriate. Ensure safe working methods are used.

It is the client's responsibility to apply for all the relevant permissions before commencing work on site. This includes but not limited to: Planning permission, Tree Preservation Orders, Building regulation approval and Party Wall Act.

SERVICES: Before starting work locate the exact position of underground and overhead services by making all necessary investigations. No mechanical digging is to take place within 0.5m of gas or electrical services. Follow the guidance issued by the Utility Authority/Company when working close to underground services.

ELECTRICAL WORK: To BS 7671 and Part P of the Building Regulations.

EXTERIOR LIGHTING FITTINGS: To BS 4533 and BS EN 60598-1.

SOFT LANDSCAPING NOTES

The Client will undertake care of the plants, trees and grass after the work is finished.

INVASIVE NON NATIVE SPECIES: Comply with the *Invasive Non Native Species Horticultural Code of Practice*.

GROUND WORKS: To BS 4428 Code of Practice for general landscape operations and BS 8000-1 clause 3.1 - 3.3 for excavation and filling.

PREPARATION FOR PLANT TREES AND SHRUBS:

- Remove inorganic containers.
- Check for and reject any damaged, diseased, poorly rooted, pest infested, wrongly identified plants, or plants not complying with all the requirements of the plant list (unless previously agreed)
- Carefully prune any minor root damage
- Plant in previously prepared pits and planting areas in position shown on the drawings or in the absence of drawings space evenly at the rate specified
- In holes large enough to allow adequate root spread and tease out congested root balls of container grown plants.
- Excavate holes at least 100mm below the root system.
- Set plants so that their original soil level matches the new surrounding ground and with their best side displayed.
- The backfill is to be the excavated (pre-prepared) soil and evenly worked round the roots and well-heeled in leaving the top slightly proud of the existing level to allow for settlement.

SUPPLY & HANDLING OF TREES & PLANTS: Comply with the *National Plant Specification (NPS)* and the *Code of Practice for Plant Handling (CPH)* which is incorporated in the *National Plant Specification* (available free at www.csdhub.com).

NURSERY STOCK: In accordance with the plant list and as specified in the *National Plant Specification (NPS)*, available free at www.csdhub.com.

PLANT FAILURES: All plants supplied and planted by the Contractor including trees, which fail to thrive within the period for the correction of faults shall be replaced with the same species to match the size of adjacent plants of the same species at the next suitable planting season, unless otherwise agreed.

IMPORTED TOPSOIL TO BE: To BS 3882 Multipurpose natural (not manufactured) topsoil.

ORGANIC MATTER: Apply and lightly dig into the surface of planting areas with well-rotted farmyard manure at a rate of 5kg/m².

IMMEDIATELY AFTER PLANTING: Lightly prune back any damaged or malformed growth. Rake soil to an even, fine tilth to the required levels. Planting is not intended to be edible unless stated otherwise.

MULCHING: Fork soil to a medium tilth in the areas to be mulched. Apply 100mm depth of mulch after watering.

BULBS: Grouped at random for naturalised bulbs. With the base of bulb at the correct depth for the species and in contact with the soil, with fine, stone-free topsoil backfill.

TREE STAKES: 75mm minimum diameter, free of bark, with one end pointed.

STAKING FOR TREES: Drive stake upright minimum 600mm depth into excavated planting pit before planting, close to the tree stem on the windward side. Cut off minimum 600mm above ground and secure tree with ties and spacers at the top of the stake.

WATERING PIPES: Provide perforated watering pipes in a circle around the top of the root ball.

BACKFILLING: To be the excavated (pre-prepared) soil. The backfill is to be evenly worked round the roots and well-heeled in leaving the top slightly proud of the existing level to allow for settlement.

TREE WORK: To be to BS 3998 *Recommendations for Tree Work* unless otherwise agreed.

PROTECTIVE FENCING: Before stripping or clearance of the site, provide, erect and maintain barriers to form Construction Exclusion Zones in accordance with BS 5837, using welded mesh panels securely attached to a braced scaffold pole vertical and horizontal framework as BS 5837 Figure 2. Clear away and make good as necessary when all the work is complete.

GROUND PREPARATION FOR WILD FLOWER MEADOWS: Harrow to reduce soil to a good tilth not exceeding 25mm. Ground to be weed free and cleared of existing organic matter.

SOWING WILD FLOWER SEED MIX: Ensure even mixing of all seed varieties at all times. Seed spread to manufacturers recommendation. Seed is to be sown into soil with low fertility. Client is responsible for any required soil tests.

TURF QUALITY: to be BS 3969 with herbicide applied 1 to 3 months before lifting. 900 x 300 minimum size, even thickness, max 10mm thick thatch and 7-18mm thick topsoil. Supply a sample to site for inspection before delivery.

PREPARATION FOR TURFING:

- Remove all weeds, rubbish and stones over 30mm in any dimension.
- Cultivate topsoil to a minimum depth of 100mm.
- Reduce top 20mm to a fine tilth and on clay or heavy loam soils work in 50% of coarse sharp sand to produce a 60mm layer.

LAYING TURF:

- Transport turf over close butted timber planks.
- Lay turf in consecutive rows.
- Lay turf from timber planks protecting previously laid turf.
- Lay turf close butted breaking the joint in alternate rows.
- Use only whole turves at margins.
- Consolidate lightly with wooden beaters.
- Brush in finely sieved topsoil to fill all joints.
- Peg turfs with wooden pegs on slopes exceeding 30°.
- Ensure final surface is 20mm above any adjacent hard surface.

FERTILISER: Dress areas to be grass seeded with N7-P7-K7 fertiliser at a rate of 50g/m² and work into the top 30mm of tilth 7 days before sowing and water in well. Not applicable to wildflower meadow areas.

SOWING GRASS SEED: Ensure even mixing of all seed varieties at all times. Use a broadcast machine to spread the seed in the quantity specified. Apply in two equal passes in transverse directions. Rake in the seed and roll with a lightweight roller.

Key

- Planting
- Hedge
- Lawn
- Block Paving
- Paving
- Tarmac
- Gravel
- Existing Tree
- New Tree
- Remove Tree

TREE SIZE GUIDE

Trees to be 1.8m clear stem specimens unless stated otherwise.

| TREE TYPE | TREE GIRTH (CM) | TREE HEIGHT (CM) |
|----------------|-----------------|------------------|
| Heavy Standard | 12-14cm girth | 300-350cm |

HEDGE PLANTING SPECIFICATION

All planting stock to conform to the National Plant Specification, but generally:

Stock Size: 1-2 transplanted whips (90-120cm) or 3 litre containerised stock

Density: 4 per linear meter, planted in a double staggered row, 500mm between plants and rows

Species grouping: Plant in groups of 3-7 of same species, distributing evergreen species evenly over total length.

Protection: 600mm clear spiral rabbit guards and tube guards for standard trees.

Planting: Trench planted, ensure trench is wide enough to accommodate spread roots, ameliorate back with 50% organic matter

Mulch: 75mm bark mulch to entire planting trench.

Location: 800mm from adjacent vertical structure and/or 500mm from adjacent hard surface. Use root barriers where required.

Tag standard trees to easily identify during annual cut.

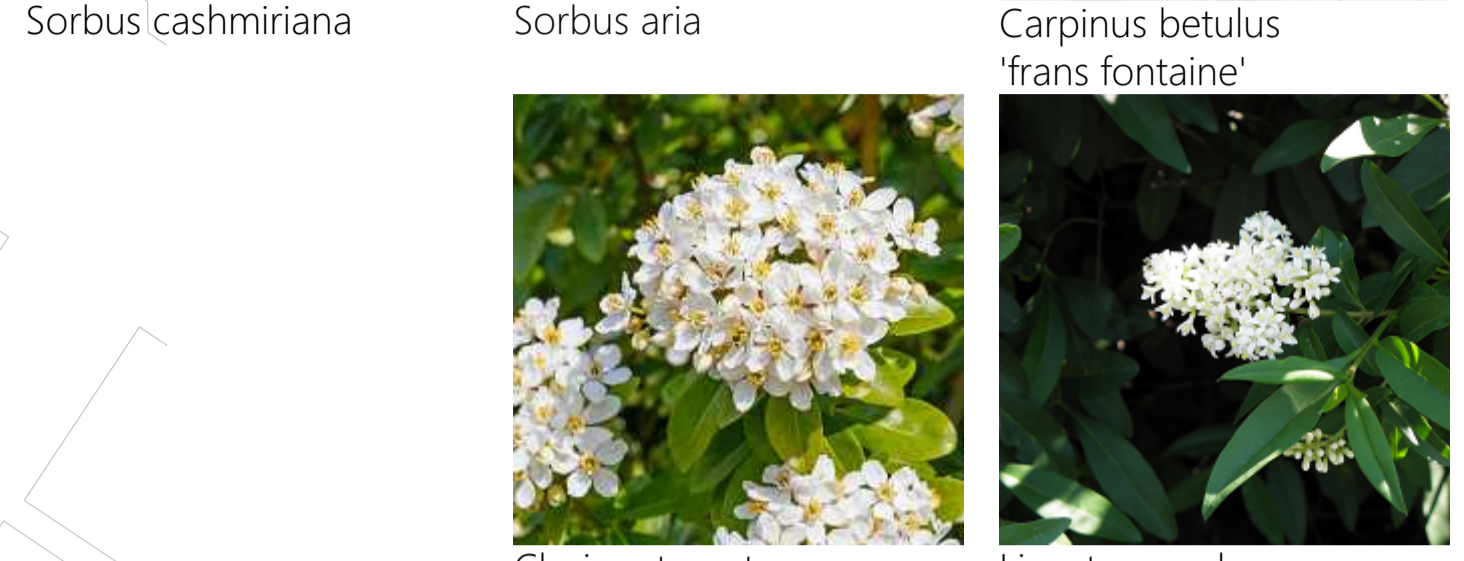
PLANTING DENSITIES

PLANTING BEDS: Planting species to be planted in groups of 1, 3, 5 and 7. Taller species to be located centrally and towards the rear. Planting density of 2 plants per square meter for Shrubs & 3 plants per square meter for perennials and grasses.

HEDGING: Hedging to be planted in double staggered rows with 5 whips per linear meter.

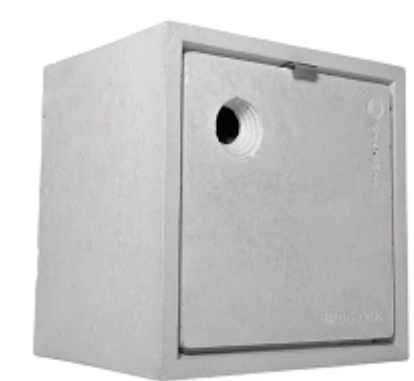
Plant List

| ID | Qty | Latin Name | Scheduled Size | Remarks |
|------------|-----|--|----------------|---------|
| Trees | 3 | <i>Carpinus betulus</i> 'frans fontaine' | Heavy Standard | |
| Trees | 2 | <i>Sorbus cashmiriana</i> | Heavy Standard | |
| Trees | 2 | <i>Sorbus aria</i> | Heavy Standard | |
| Shrubs | 67 | <i>Ligustrum vulgare</i> | 10L | |
| Shrubs | 2 | <i>Choisya ternata</i> | 10L | |
| Perennials | 11 | <i>Achillea millefolium</i> | 5L | |
| Perennials | 6 | <i>Lythrum salicaria</i> 'Robin' | 5L | |
| Grasses | 11 | <i>Deschampsia cespitosa</i> | 5L | |



Ecological Enhancements

- Integrated Bat Bricks
- Integrated Bird Bricks
- Bee Bricks



Green&Blue Bird Block | Nest Box



Green&Blue Bee Brick



Vivara pro woodstone bat box

THE LANDSCAPE SERVICE

Landscape & Garden Design

T: 02381 980022
E: info@thelandscape-service.com
W: www.thelandscape-service.com

Site Address

Silverways Nursing Home
Highcliffe, Christchurch
BH23 4LJ

Drawing Title

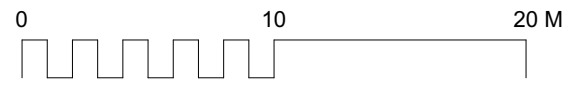
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Drawing Number
602 - 1 - R2

Date

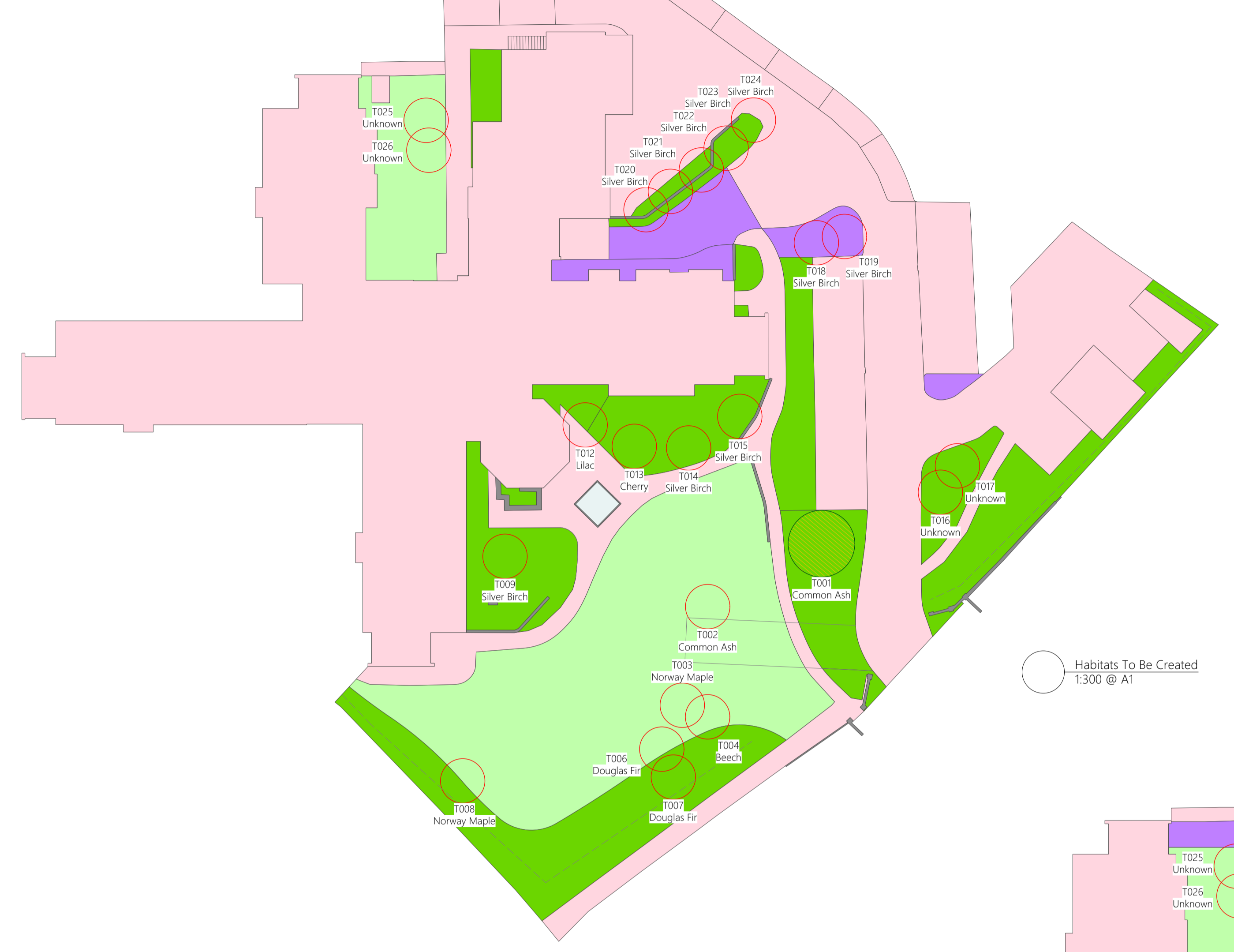
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Scale

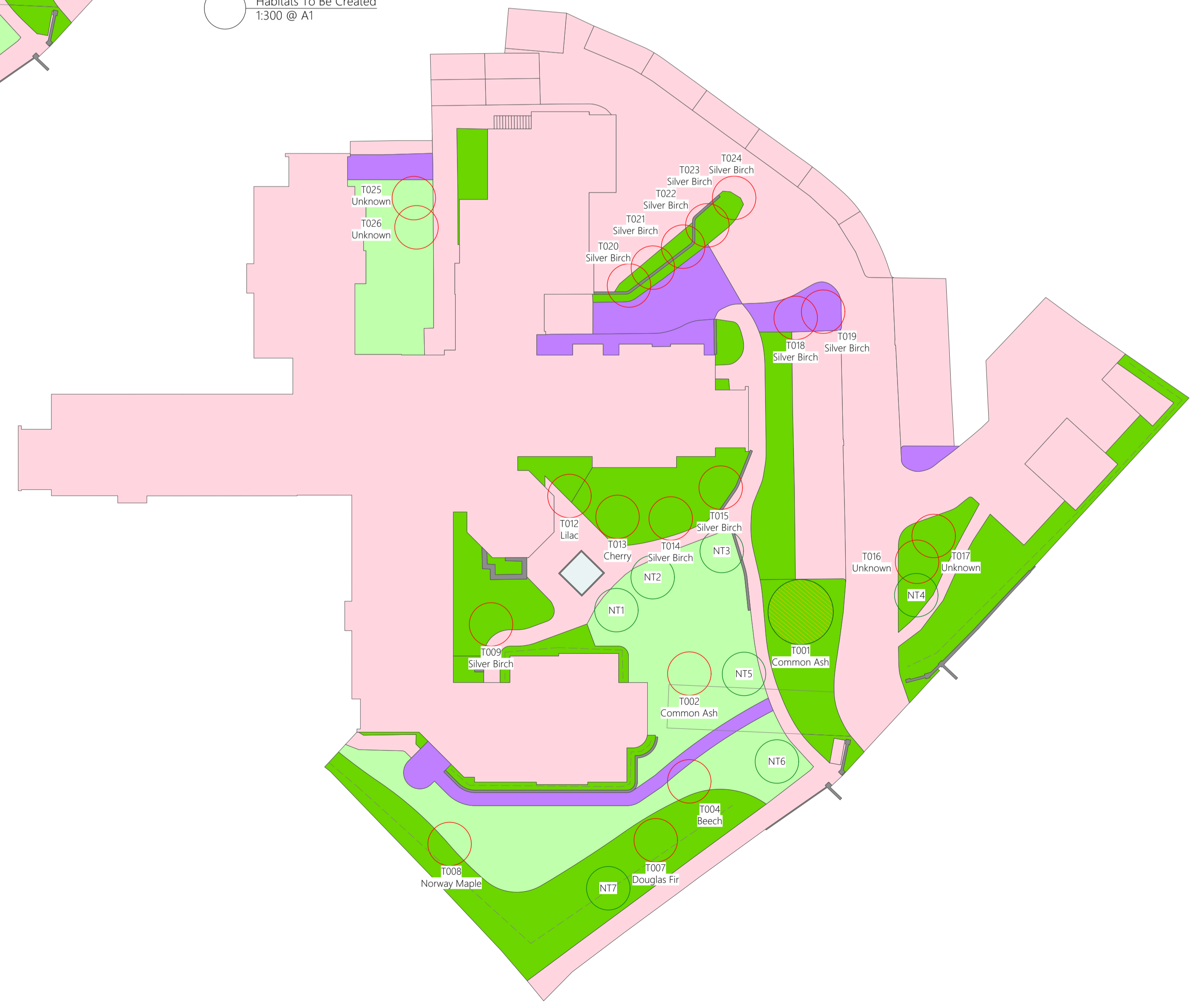
1:200 @ A1



Baseline Habitats
1:300 @ A1



Habitats To Be Created
1:300 @ A1



BIODIVERSITY NET GAIN HIERARCHY
This assessment has been undertaken with the Biodiversity Net Gain Hierarchy applied. Existing trees and notable landscape features have been retained where possible with a view of attempting to achieve 10% net gain on site.
In this instance, net gain is not achievable due to the footprint of the proposed development. Existing trees have been retained to minimise habitat loss on site and new trees have been proposed to offset the loss of existing trees.
Local units are to be purchased to offset the loss of habitats on site.

- Habitats Key**
- Developed Land; Sealed Surface
 - Introduced Shrub
 - Modified Grassland
 - Built Linear Features
 - Artificial Unsealed, Unvegetated Surface
 - Existing Small Tree - DBH <7.5cm to ≤30cm
 - Small Tree - DBH <7.5cm to ≤30cm
 - Very Large Tree - DBH >90cm

- Hedgerows**
- Existing - Non-Native and ornamental hedgerow - 88.7m
 - Proposed - Native hedgerow - 38.5m



THE LANDSCAPE SERVICE

Landscape & Garden Design

T: 02381 980022
E: info@thelandscape-service.com
W: www.thelandscape-service.com

Site Address
Silverways Nursing Home
Highcliffe, Christchurch
BH23 4LJ

Drawing Title
Biodiversity Habitats Plan
Drawing Number
602 - 2 - R3
Date
02.07.2025
Scale
1:200 @ A1



Appeal Decision

Site visit made on 9 May 2023

by **S Harrington MA MRTPI**

an Inspector appointed by the Secretary of State

Decision date: 07 July 2023

Appeal Ref: APP/V1260/W/22/3306163

Silverways Nursing Home, Silver Way, Christchurch BH23 4LJ

- The appeal is made under section 78 of the Town and Country Planning Act 1990 against a failure to give notice within the prescribed period of a decision on an application for planning permission.
 - The appeal is made by Mr Doug Furlong, Christchurch Housing Society against Bournemouth Christchurch and Poole Council.
 - The application Ref 8/21/0905/FUL, is dated 13 September 2021.
 - The development proposed is 2-storey extension to existing nursing home to create a linked, 10 bedroom care home wing.
-

Decision

1. The appeal is dismissed and planning permission for 2-storey extension to existing nursing home to create a linked, 10 bedroom care home wing is refused.

Preliminary Matters and Main Issues

2. As set out in the banner heading above, the Council failed to determine the application to which this appeal relates within the prescribed period. Since the appeal has been made, the Council has not provided any indication as to what their decision would have been had it been in a position to determine the application.
3. The Council has however provided copies of policies which it considers pertinent to the appeal from the Borough of Christchurch Local Plan 2001(LP), the Christchurch and East Dorset Local Plan Part 1 - Core Strategy (adopted April 2014)(CS) and the Highcliffe and Walkford Neighbourhood Plan. I have taken those policies into account.
4. A number of interested parties have made representations during the planning process. The appellant has had opportunity to view and respond to interested party comments within their appeal statement. Noting the matters raised by interested parties, I consider the main issues are:
 - The effect of the proposal on the living conditions of neighbouring occupiers, with particular regard to overlooking and overshadowing;
 - The effect of the proposal on vehicular parking; and
 - The effect of the proposal on the integrity of the Dorset Heathlands and New Forest Special Area of Conservation and Special Protection Areas and the River Avon Special Area of Conservation (Habitats sites).

Reasons

Living Conditions

5. The appeal site is a large multi-winged two storey nursing home set within gardens to all sides and surrounded with residential properties. A public footpath runs to the southern boundary connecting Silver Way to Pine Crescent. Surrounding properties are predominantly 1 or 2 storey dwellings of traditional design set within gardens of a reasonable size. I observed that more recent residential development (28A and 29A Pine Crescent) had been constructed in close proximity to the western boundary of the appeal site.
6. The proposal would extend to the south of the existing building with a two-storey flat roofed built form broadly aligned with the southern and western boundaries. An existing tree along the western boundary would be retained, and I note the Council's Tree and Landscape Officer's comments that necessary future management could be done reasonably without adversely affecting the trees health or appearance.
7. While the southern elevation would be devoid of windows, a number of windows would feature in the proposed west elevation at both ground and first floor levels. Gardens of residential properties along Pine Crescent back onto the appeal site, and while not illustrated on the submitted plans, I observed the spatial relationship of the recently constructed residential development with the appeal site.
8. Due to the length of gardens and relatively long distance between the proposal and the rear elevations of 29 and 30 Pine Crescent, the proposal would not result in a significant increase in overlooking or overshadowing of windows. However, the proposal would result in first floor windows, some of which are full height windows, overlooking parts of the garden areas of these properties and more significantly, 29A Pine Crescent which is in closer proximity to the proposal.
9. Furthermore, while there is screening from the existing mature boundary planting, this is likely to be less effective during winter months when foliage is not in leaf. Although some mutual overlooking is not unusual in a residential area, noting the particularly close proximity of 29A Pine Crescent to the proposal, the proposal would result in an increased degree of actual and perceived overlooking and an unreasonable loss of privacy. Although it could be possible to impose planning conditions to ensure that bathroom windows within this elevation are obscure glazed, such a condition relating to the bedroom windows would not be appropriate due to the effect on future occupier's outlook.

Consequently, I conclude that the development results in a harmful effect on the living conditions of the occupiers of neighbouring properties with particular regard to overlooking. The proposal therefore conflicts with LP Policy H12 and CS Policy HE2. These policies, amongst other things, seek to ensure development does not adversely affect neighbouring residential amenity.

Vehicular Parking

10. The appeal site has existing off-road vehicular parking for up to 35 cars, although I observed that this includes an amount of double parking. The appeal site is in a location which is accessible by a number of differing public transport

modes and includes additional bicycle parking. It is put to me that the proposal would result in an additional 8 employees at the appeal site and additional potential visitors to future occupiers.

11. I note that concerns raised by interested parties relate to the impact on on-street parking, and how the proposal could result in additional pressure on on-street parking. At the time of my visit, there was sufficient available parking spaces within the appeal site, with no obvious overspill parking taking place on the surrounding highway network. However, I accept that this was a moment in time, and noting the interested party representations have no doubt that at certain times overspill parking does take place within the surrounding area.
12. Nevertheless, the Highway Authority have noted that the proposal would be unlikely to result in a significant increase in vehicle trips, and that sufficient parking would be retained to meet guidelines. Furthermore, if planning permission were to be forthcoming, planning conditions could be imposed requiring additional cycle parking provision and electric vehicle charging as required by the Highway Authority.
13. While I appreciate the concerns of local residents and accept that overspill parking may occur on the surrounding highway at times, there is no substantive evidence before me to indicate that parking within on the surrounding highway would result in highway safety issues or that the proposal would lead to a worsening of this situation. Therefore, on the evidence before me I see no reason to disagree with the Highway Authorities assessment of the proposal.
14. Consequently, the proposal would contain appropriate levels of vehicular parking and not result in harm to highway safety. The proposal therefore accords with CS policies KS11 and KS12. These policies require, amongst other things, that development provides adequate vehicle parking facilities to serve the needs of the proposed development.

Habitats Sites

15. The appeal site is within 5km of the Dorset Heathlands Special Protection Area and Special Area of Conservation. The Dorset Heathlands Planning Framework 2020-2025 Supplementary Planning document (April 2020) (SPD) advises that the Dorset Heathlands is designated for protected and priority habitats and species including Dartford warblers, nightjars, woodlark, hen harrier, merlin, sand lizards and smooth snakes as well as other typical species of lowland heathland, wetlands and dunes. Evidence shows that the designation is under significant pressure from an increasing number of people living nearby. As the population grows, urbanising impacts from human pressures and damage caused by domestic pets have the potential to cause ongoing adverse effects on the protected habitats and species.
16. The appeal site is also within 13.8km of the New Forest Special Protection Area and Special Area of Conservation which I am informed has recently had a detailed visitor survey confirming adverse effects arising from new dwellings.
17. Natural England have confirmed that the SPD is appropriate for both Dorset Heathlands and New Forest, and I see no reason to disagree. The SPD sets out a strategy for the avoidance and mitigation of impacts of new residential development. Appendix B sets out advice for different uses which are not

specifically mentioned in the SPD with the guidance indicating that nursing homes would not have a likely significant effect, alone or in combination with other projects.

18. Furthermore, the SPD confirms that certain types of specialist purpose built nursing homes where residents are no longer active will not have a significant effect on the Heathlands and do not need to provide mitigation. Residents of these developments would not be expected to leave the property to access heathland, either alone or with the support of a family member/carer.
19. The appeal proposal seeks to extend a facility providing community care provision, and no substantive evidence has been put to me as to why the proposal would not reasonably fall within the type of specialist purpose-built nursing home envisaged within the SPD.
20. I am informed that the appeal site is also within the catchment area of the River Avon Special Area of Conservation. There is a known issue with nutrients entering the river and adversely affecting environmental conditions for the qualifying species.
21. Additional foul water from the proposal would be treated in the Christchurch Waste Water Treatment Works. This discharges enriched water into the River Avon which is currently exceeding its SAC Phosphate targets. The appellant has indicated that there would be no increase in overall impact as the proposal would replace a 11-bed care home elsewhere which would be decommissioned or demolished. However, I have no further details of this before me, or of any planning mechanism as to how this could be effectively secured. Therefore, taking a precautionary approach, and noting the number of additional proposed occupants and the inclusion of en-suite bathrooms, likely significant effects both individually and cumulatively with other schemes, cannot be ruled out owing to the likelihood of additional phosphates within the catchment area of the river.
22. No details or mechanism to secure on-site avoidance measures have been put to me. Natural England have indicated that mitigation measures may be available by securing offsetting Phosphate Credits and the appellant has informally indicated acceptance of such mitigation. Nevertheless, I note that there is no calculation of the level of nutrients to be offset, or a planning obligation or other mechanism before me to secure the offset.
23. Notwithstanding, as the circumstances that could have led to the granting of planning permission are not present for other reasons, it is not necessary for me to ascertain the suitability of the offered mitigation within an Appropriate Assessment. Consequently, I have not taken this matter further.

Other Matters

24. I note the appellant's comments regarding the Councils handling of the application and frustrations with delays which the appellant state result in occupiers living in outdated accommodation and higher build costs. Although I acknowledge the proposal could result in a high standard of accommodation for future occupiers, I have no substantive evidence that existing accommodation is not fit for its purpose. Moreover, it has not been shown that the appeal scheme is the only option available to achieve the appellant's desired aims. Therefore, I conclude that the weight that I attach to this matter is limited.

Furthermore, while I sympathise with the appellant's frustrations, the Councils handling of the application or future build costs has little to do with the planning merits of the case, which I have considered on the basis of the evidence before me.

Planning Balance and Conclusion

25. The proposal would make effective use of land in meeting the need for homes and other uses and this represents a benefit of the scheme.
26. I have found no harm in respect to highway safety and the proposal is in a location which is accessible by a range of transport modes. Furthermore, no concern has been raised in relation to the effect of the proposal on the character and appearance of the area, the design incorporates energy efficient features, and the site is not in an area at risk of flooding. I also note that the Council's Tree and Landscape Officer considers that adequate provision has been made for the protection of important trees. I see no reason to disagree. These matters represent a lack of harm which is neutral in the planning balance.
27. However, I have found that the proposal would cause harm to the living conditions of neighbouring occupiers with particular regard to overlooking. I attribute significant weight to this harm, which would not be outweighed by other benefits highlighted above.
28. Consequently, the proposal would not accord with the development plan when taken as a whole. There are no material considerations that indicate the appeal should be determined other than in accordance with the development plan. The appeal is therefore dismissed.

S Harrington

INSPECTOR



Shed to be removed and new, uncovered visitor and staff cycle storage for 14 to be installed on permeable block paved base - sheffield stand bases dug by hand

New, covered staff cycle store for 10 on existing hardstanding

Deadwood habitat pit previously proposed to be in location of new extension (within 2017 planning application) to be moved to this point

Previously refused plans

LEGEND:

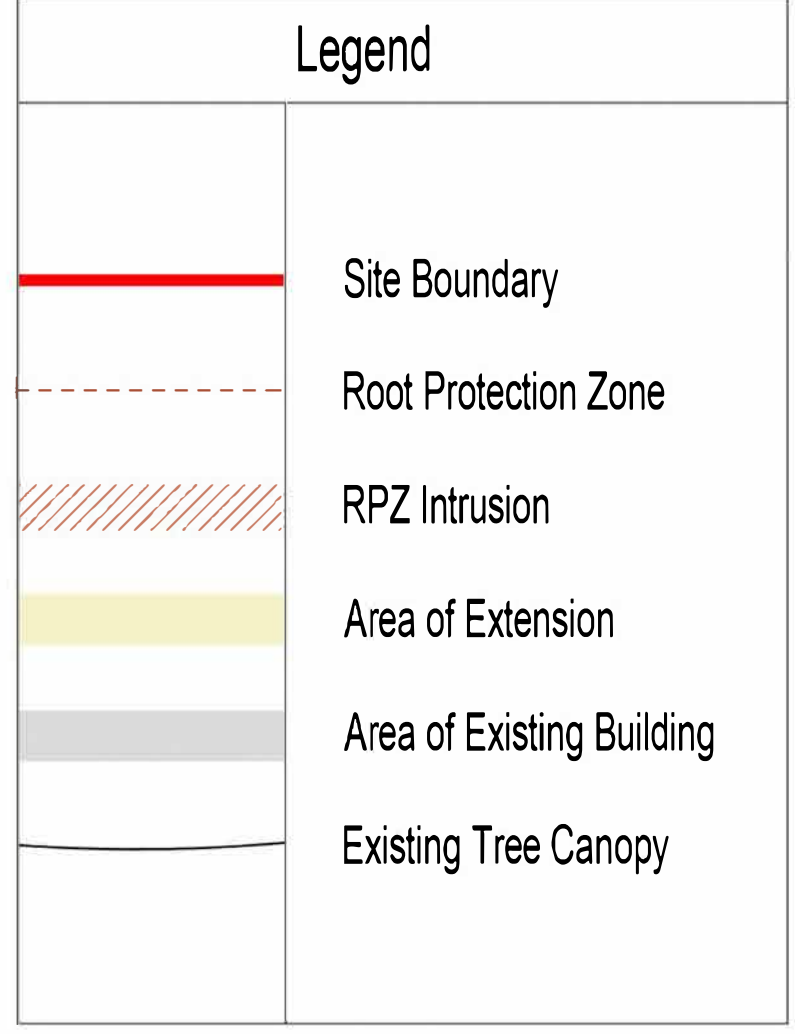
- [1] All ground within root protection areas, other than those areas hatched accordingly, are to be maintained at existing ground levels
- [2] Proposed alternative location for small leaved lime trees as specified in planning application 8/17/2023/FUL
- [3] Proposed alternative location for Rowan trees as specified in planning application 8/17/2023/FUL
- [4] Proposed alternative location for double gean trees as specified in planning application 8/17/2023/FUL

Existing hedging cut back to accommodate path

New path around extension to be built in no dig, permeable construction at existing ground level in accordance with Arboniculturist report

T3 and T6 to be removed

2 x new Sorbus Cashmiriana trees as replacement planting in accordance with Arboniculturist report



Revision F - 13.09.21 - Tree Detail and Colour Added
 Revision E - 25.08.21 - Parking Adjusted
 Revision D - 11.08.21 - Draft Application Set (A1)
 Revision C - 04.08.21 - Design Development/Tree Constraints Added
 Revision B - 22.06.21 - Design Development
 Revision A - 04.06.21 - Mirror Updates

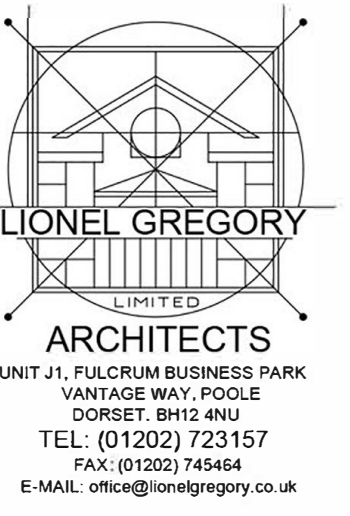
Care Home Extension at Silverways Nursing Home, Highcliffe

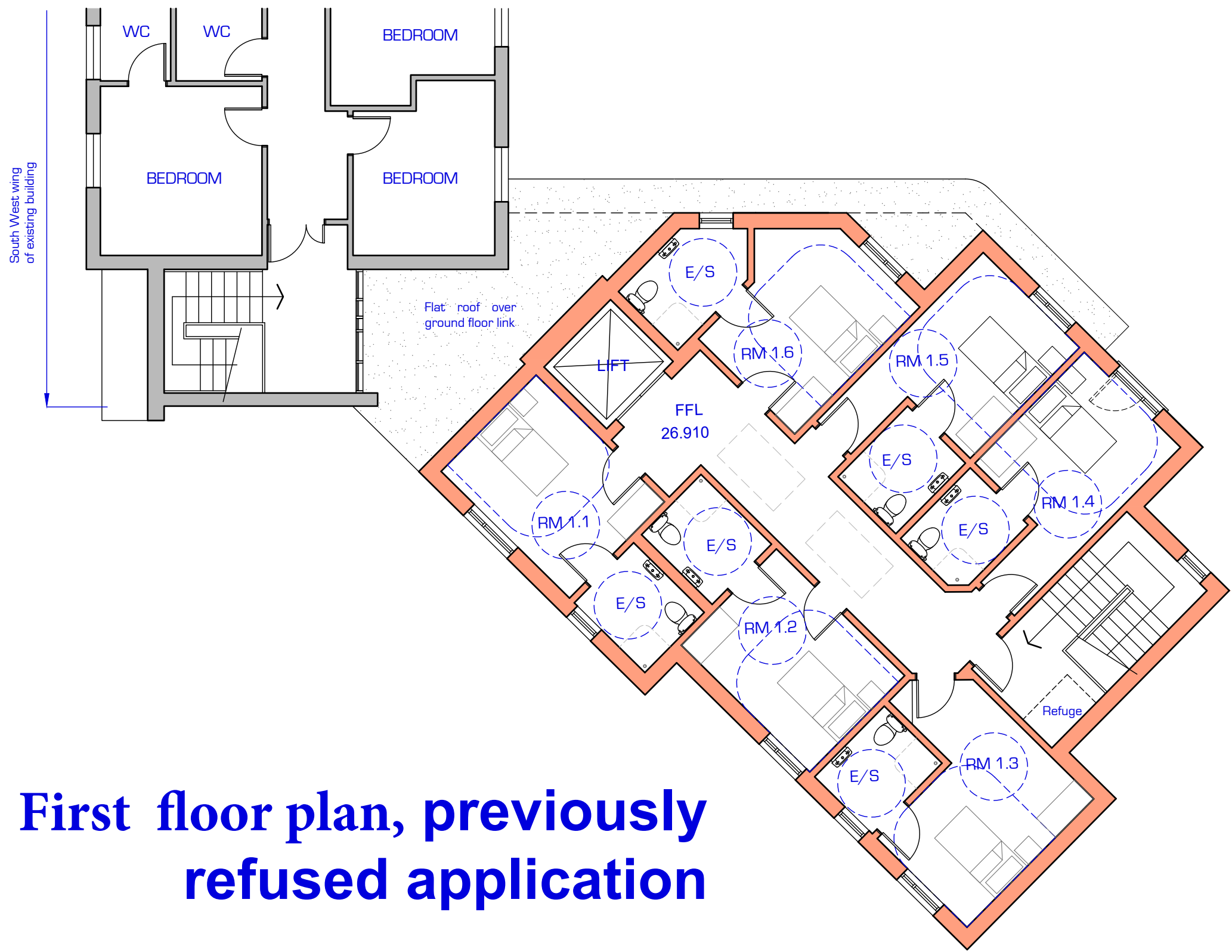
Date: 11.08.21 Scale: 1:200 @ A1 Drawn: NJL

Site Plan as Proposed

5216

01F





First floor plan, previously refused application

Revision D - 11.08.21 - Application Set
 Revision C - 04.08.21 - Design Development
 Revision B - 22.06.21 - Design Development
 Revision A - 04.06.21 - Minor Updates

Care Home Extension
 at
 Silverways Nursing Home,
 Highcliffe

Date: 10.05.21 Scale: 1:100 @ A3 Drawn: NJL

Proposed First Floor Plan

5216

03D

