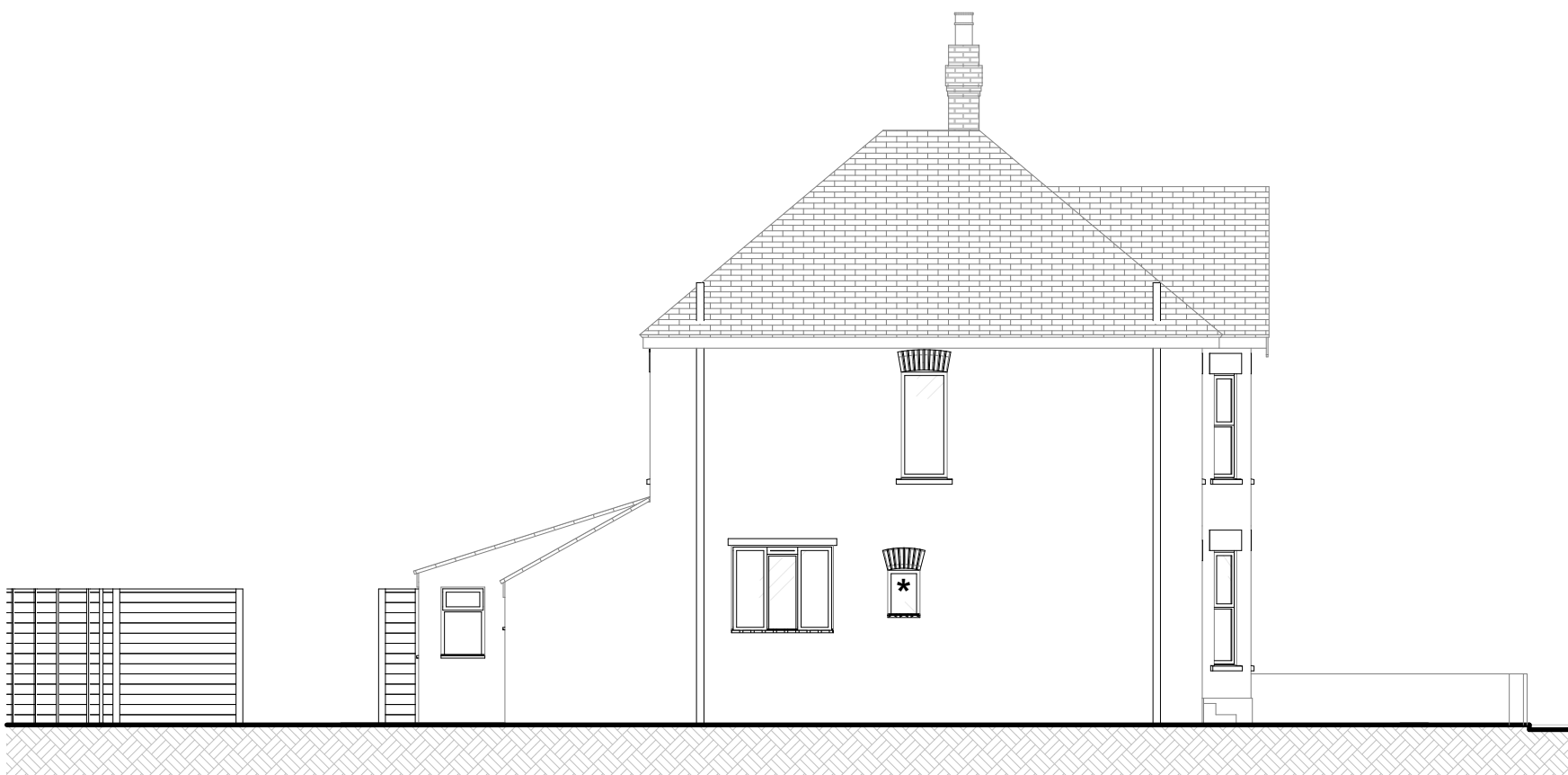


Existing



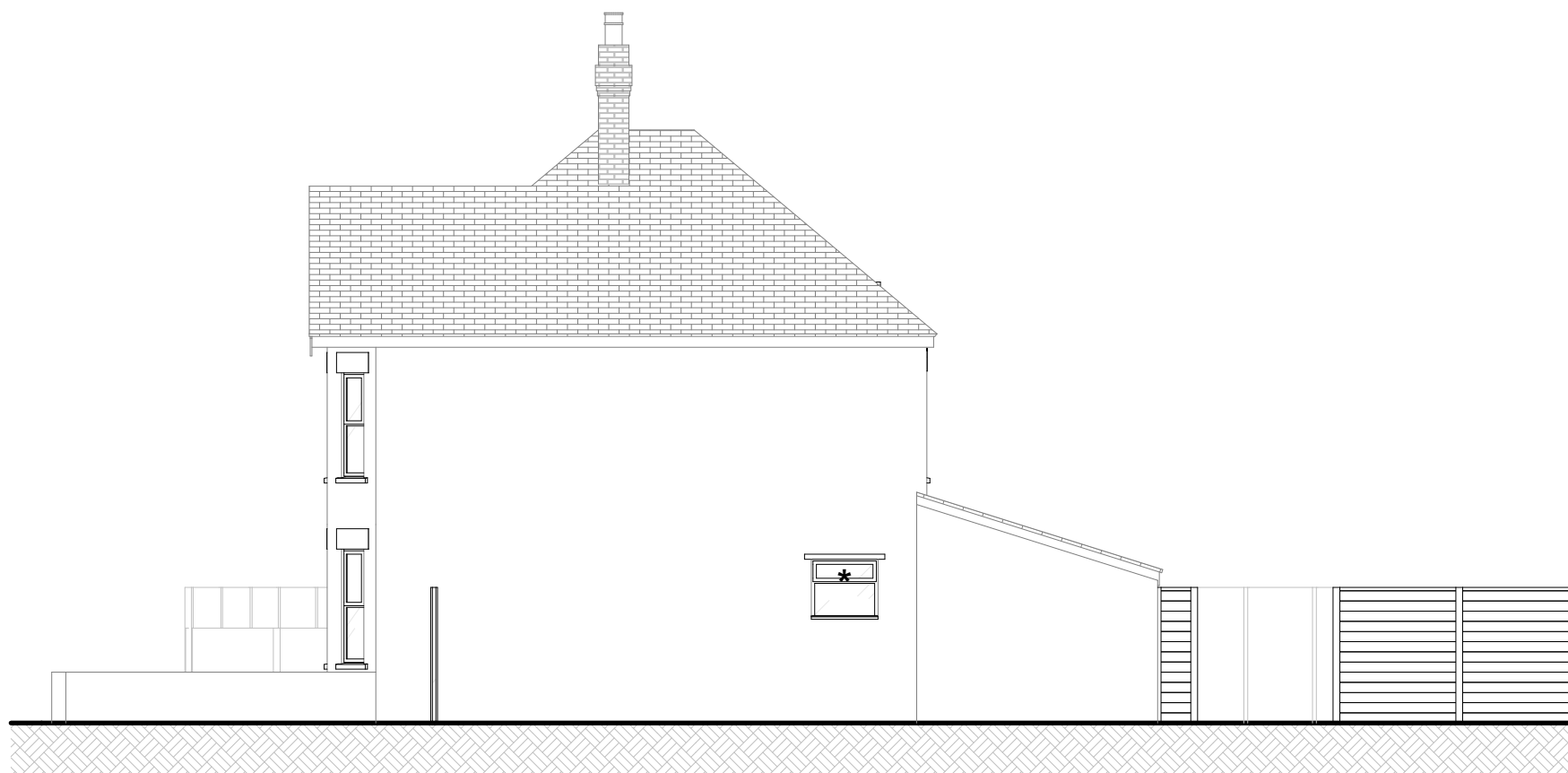
Front (North) Elevation
1:100



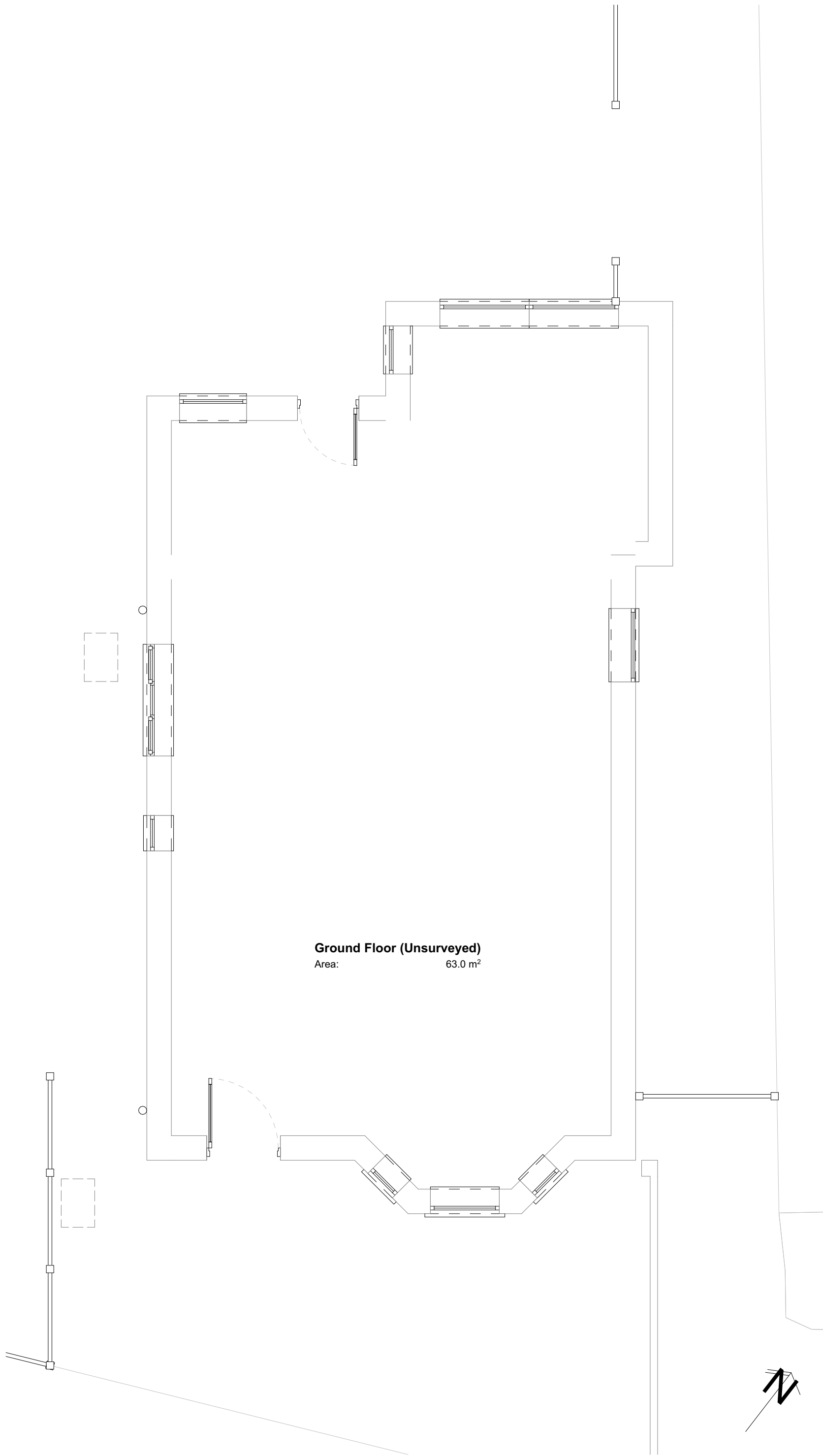
Side (East) Elevation
1:100



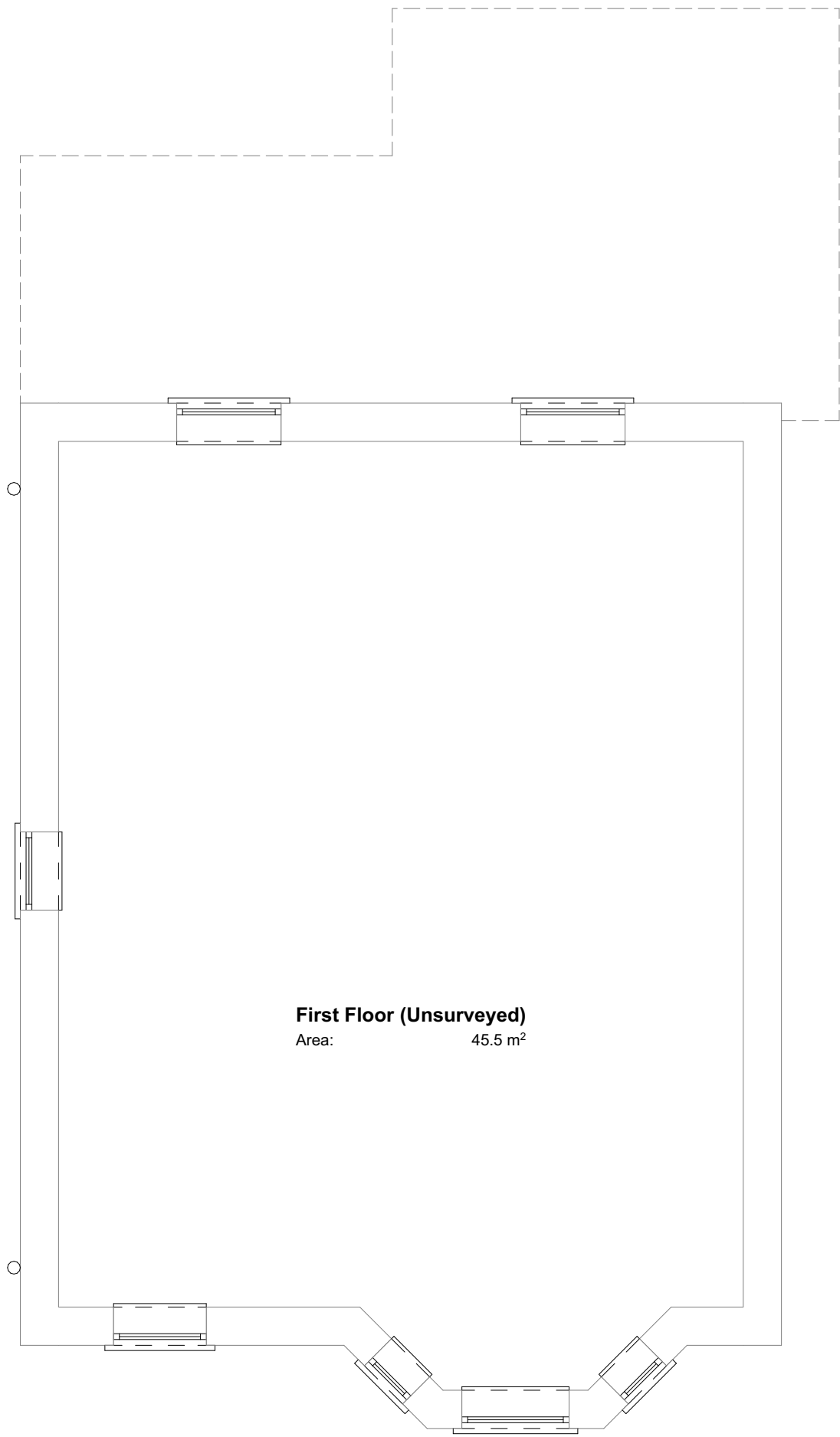
Rear (South) Elevation
1:100



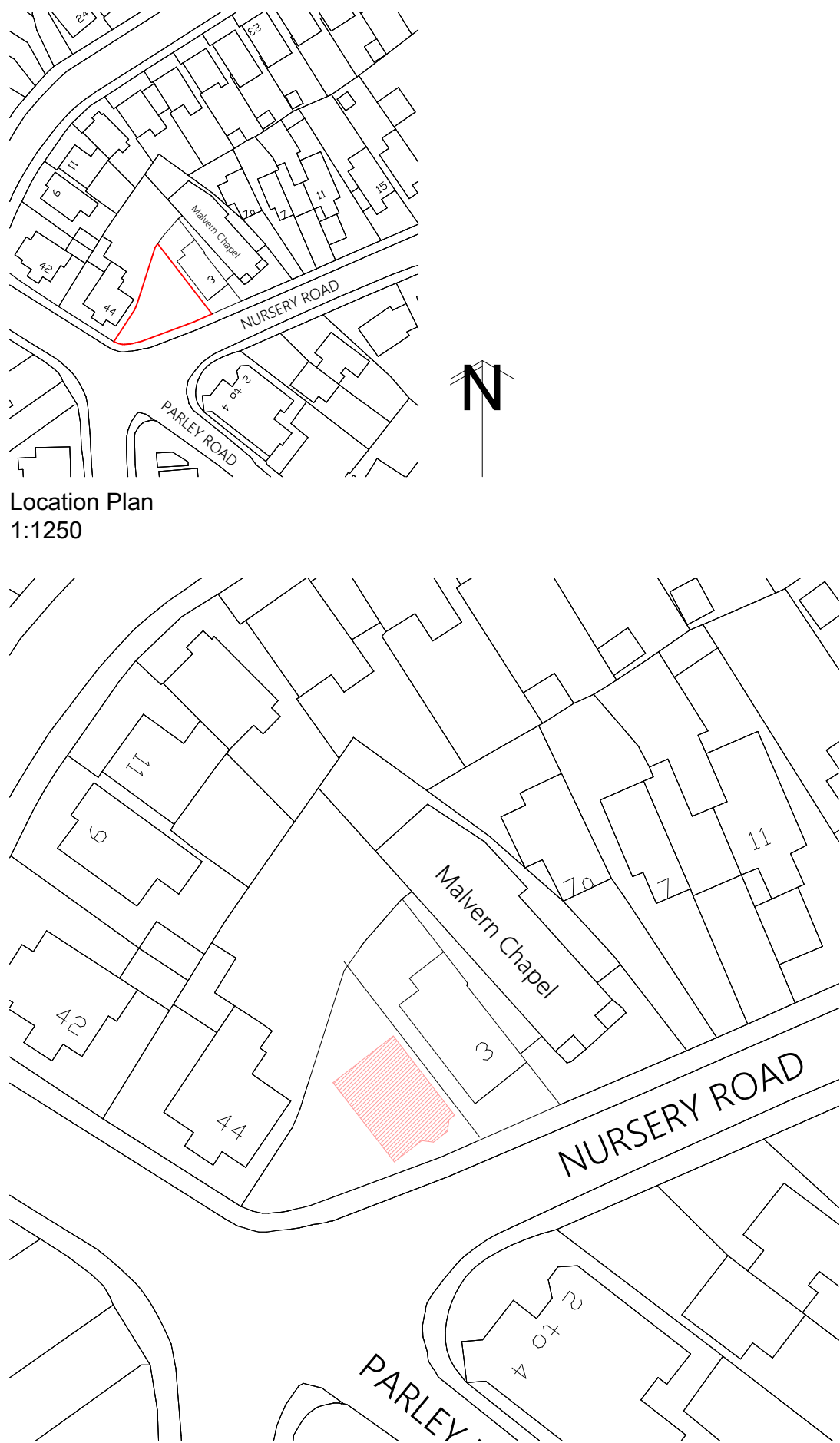
Side (West) Elevation
1:100



Ground Floor
1:50



First Floor
1:50



Block Plan
1:500

ADAM DUNN DESIGN
ARCHITECTURAL DESIGN
& PLANNING APPROVAL

ARCHITECTURAL DESIGN
PLANNING APPROVAL
BUILDING CONSULTANCY

PLANNING NOTES

DRAINAGE (SUDS)
A new soakaway will be designed in accordance with Approved Document H & BRE Digest 365, the design allows an increase of 30% for climate change. The proposed hardstanding areas shall be laid with a cross fall so all rainwater shall be directed into the ground locally and within the site boundaries. Provide a silt trap to the surface water drainage line so that the silt and debris can be removed before it can enter the soakaway. The silt trap shall be cleared weekly until the development is completed after which a three monthly inspection rota shall be followed.

WASTE STORAGE
A new area will be provided for bin storage.

BOUNDARY TREATMENT
The site shall be surrounded in 2.0m high fencing.

EXTERNAL MATERIALS
Walls 01 - Render
02 - Vertically hung tile cladding
Roof 03 - Slate tile
Windows & Doors 04 - uPVC white
Rainwater Goods 05 - uPVC white
* Denotes obscured glazing
Pilkington level 5

AREAS
Existing Floor Area 108.50 m²
Proposed Floor Area 80.90 m²
Site Area 342.50 m²

DRAWING NOTES

F	24/04/2025	Client Alterations
E	08/09/2024	1.5m Reduction in First Floor Rear Projection, Mono Pitch Roof Added to GF
C	13/04/2024	Application Amended to 1No Two Storey Three Bed Dwellinghouse
REV	DATE	DESCRIPTION
CLIENT		

Malcolm Scott

PROJECT
Proposed 1No Two Storey Three Bed Dwellinghouse

ADDRESS
3 Nursery Road, Moordown, Bournemouth, BH9 3AS

DRAWING
Plans as Existing

STATUS
Planning Permission Application

DATE

April 2024

SCALE @ A1

1:500, 1:50, 1:1250, 1:100

DRAWING N°

22154-00-02

REVISION

F

ARCHITECTURAL DESIGN
PLANNING APPROVAL
BUILDING CONSULTANCY



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ISSUE SCHEDULE			
Preliminary	<input checked="" type="checkbox"/>	Building Regs	<input type="checkbox"/>
Planning	<input type="checkbox"/>	Construction	<input type="checkbox"/>

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1m at 1:500	0	1	2	3	4
1m at 1:200	0	1	2	3	4
1m at 1:100	0	1	2	3	4
1m at 1:50	0	1	2	3	4
1m at 1:25	0	1	2	3	4
1m at 1:12.5	0	1	2	3	4