

Existing



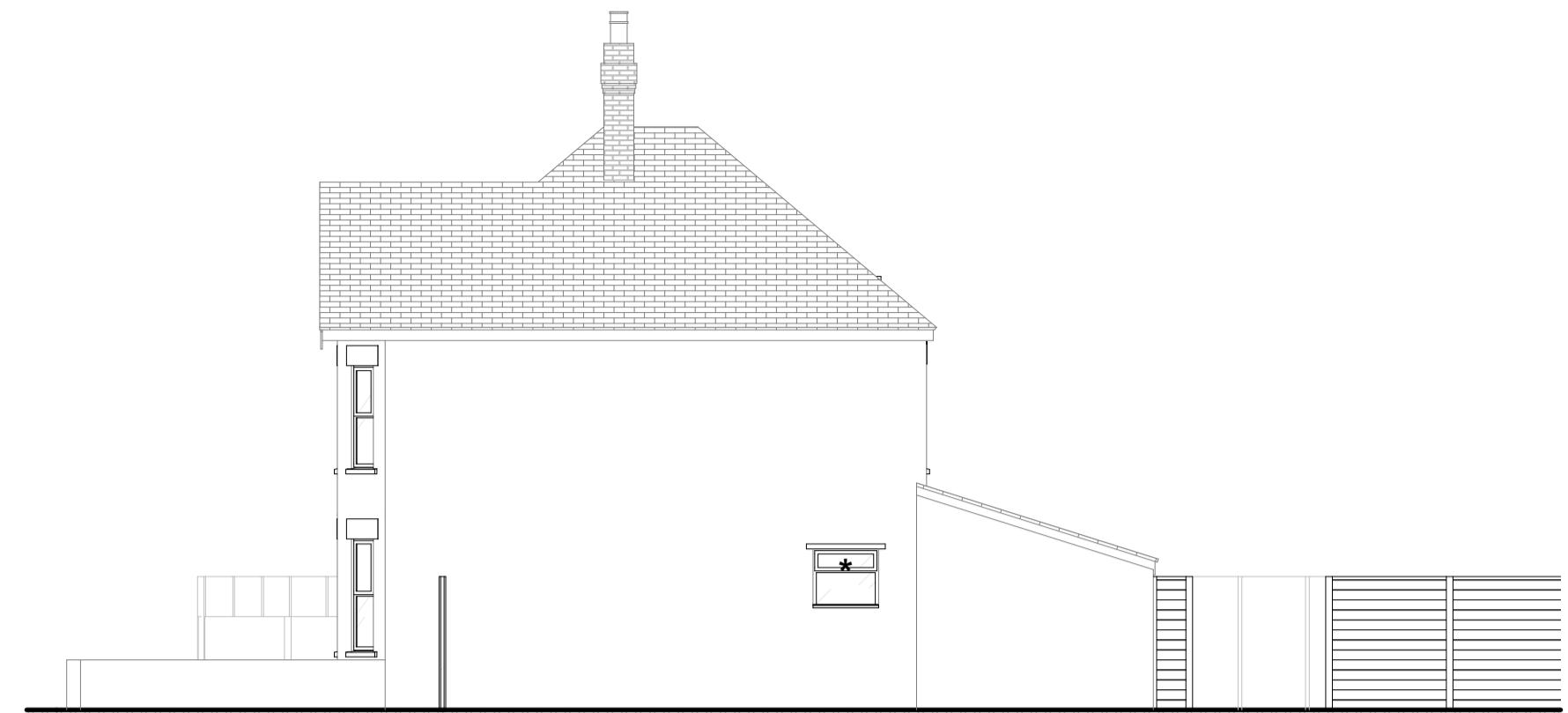
Front (North) Elevation
1:100



Side (East) Elevation
1:100



Rear (South) Elevation
1:100



Side (West) Elevation
1:100

ADAM DUNN DESIGN
ARCHITECTURAL DESIGN
& PLANNING APPROVAL

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PLANNING APPROVAL
BUILDING CONSULTANCY

PLANNING NOTES

DRAINAGE (SuDS)

A new soakaway will be designed in accordance with Approved Document H & BRE Digest 365, the design allows an increase of 30% for climate change. The proposed hardstanding areas shall be laid with a cross fall so all rainwater shall be directed into the ground locally and within the site boundaries. Provide a silt trap to the surface water drainage line so that the silt and debris can be removed before it can enter the soakaway. The silt trap shall be cleared weekly until the development is completed after which a three monthly inspection rota shall be followed.

WASTE STORAGE

A new area will be provided for bin storage.

BOUNDARY TREATMENT

The site shall be surrounded in 2.0m high fencing.

EXTERNAL MATERIALS

Walls	01 - Render
Roof	02 - Vertically hung tile cladding
Windows & Doors	03 - Slate tile
Rainwater Goods	04 - uPVC white
*	05 - uPVC white
	Denotes obscured glazing
	Pilkington level 5

AREAS

Existing Floor Area	108.50 m ²
Proposed Floor Area	80.90 m ²
Site Area	342.50 m ²

DRAWING NOTES

F 24/04/2025 Client Alterations
E 08/09/2024 1.5m Reduction in First Floor Rear Projection, Mono Pitch Roof Added to GF
C 13/04/2024 Application Amended to 1No Two Storey Three Bed Dwellinghouse
REV DATE DESCRIPTION
CLIENT Malcolm Scott

PROJECT Proposed 1No Two Storey Three Bed Dwellinghouse

ADDRESS 3 Nursery Road, Moordown, Bournemouth, BH9 3AS

DRAWING Plans as Existing

STATUS Planning Permission Application

DATE April 2024

SCALE @ A1

1:500, 1:50, 1:1250, 1:100

DRAWING N° 22154-00-02

REVISION F

ARCHITECTURAL DESIGN

PLANNING APPROVAL

BUILDING CONSULTANCY

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CIAT

ISSUE SCHEDULE

Preliminary Planning Construction

Building Regs

Construction

From Adam Dunn Design. The Contractor is responsible for checking the dimensions on site and any discrepancy to be verified prior to the commencement of any building works or fabrication. These drawings are not to be scaled and must be read in accordance with all associated architectural, structural, engineering and service drawings. If in doubt, please ask.

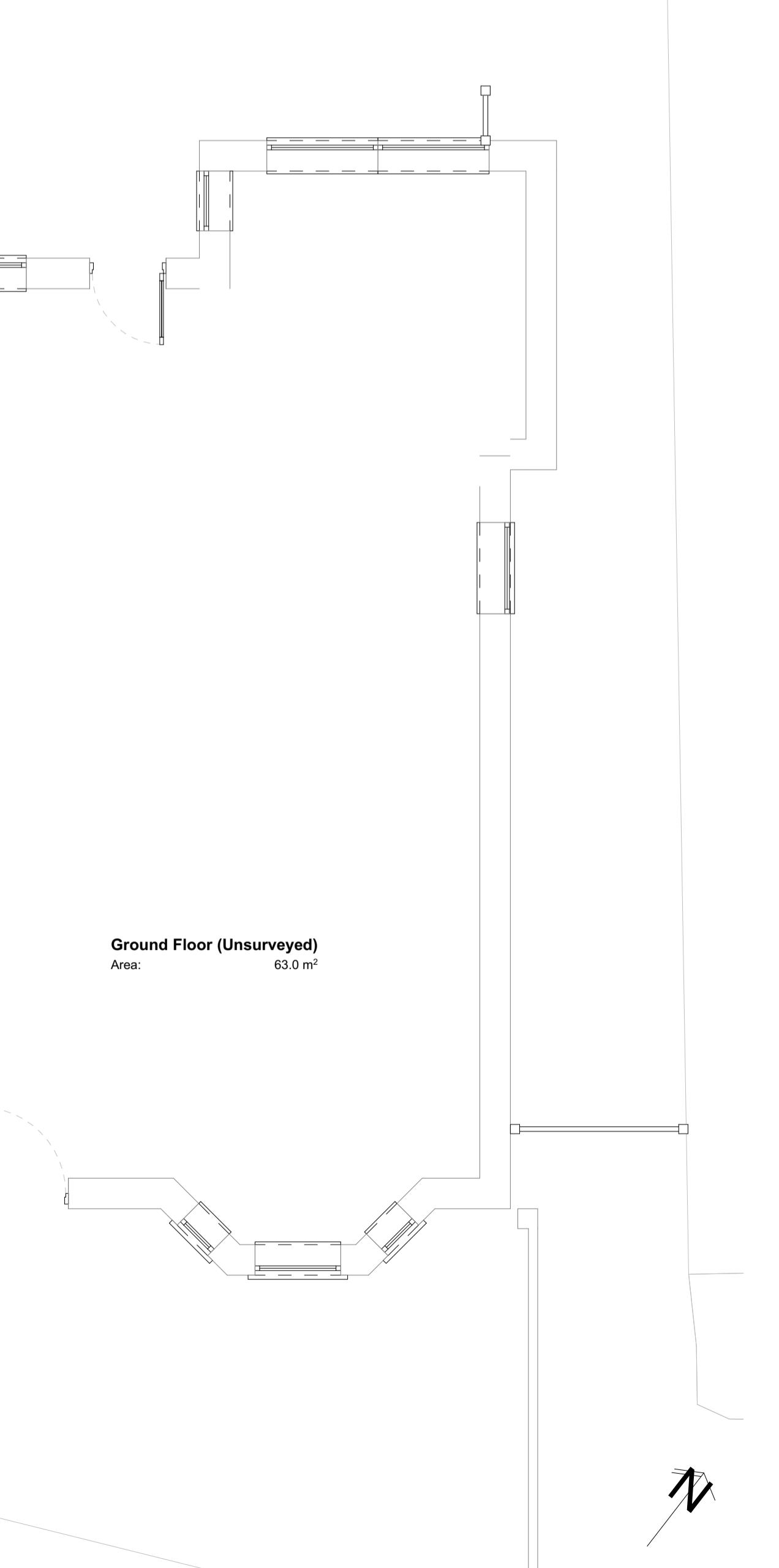
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Im at 1:100 1 2 3 4 5 6 7 8

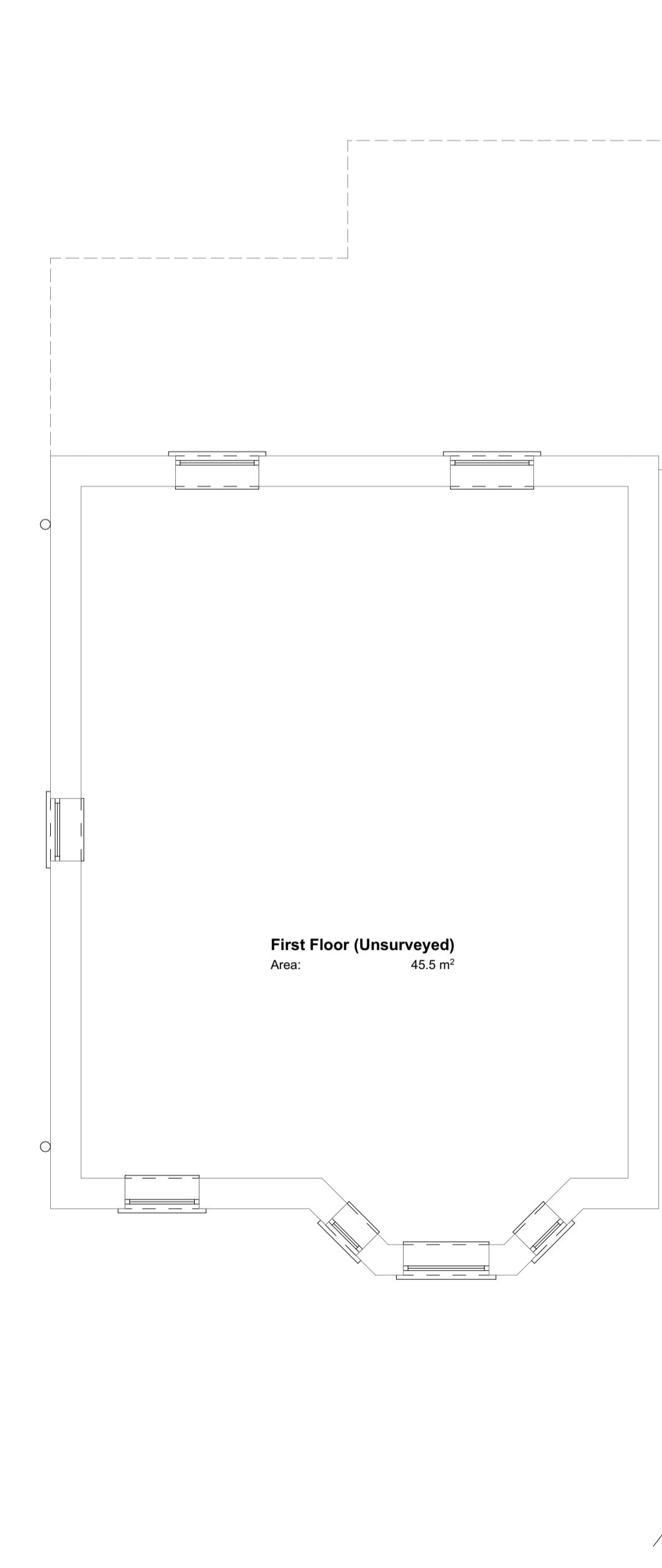
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Sm at 1:500 5 10 15 20 25 30 35 40

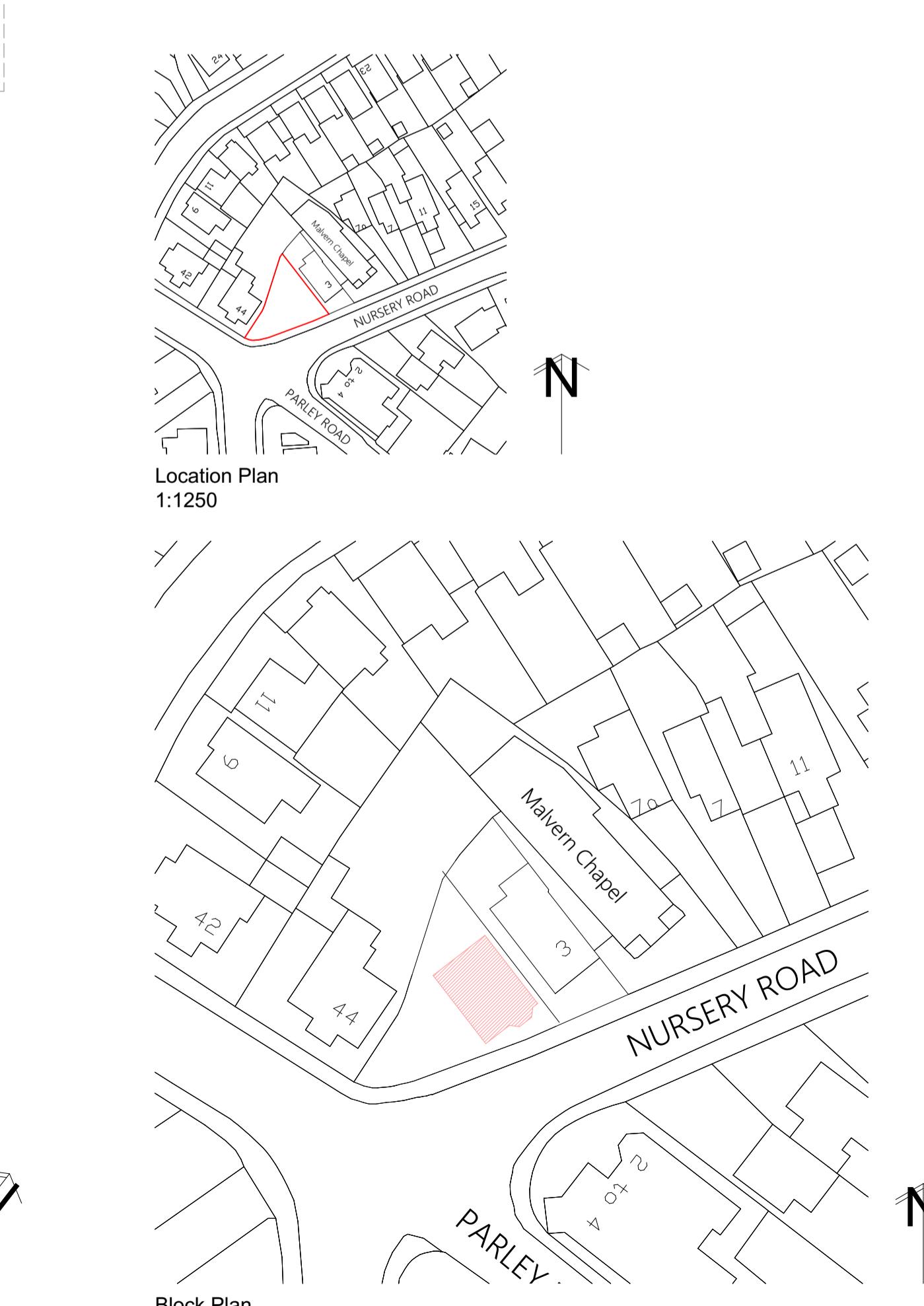
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Ground Floor (Unsurveyed)
Area: 63.0 m²



First Floor (Unsurveyed)
Area: 45.5 m²



Block Plan
1:500

Ground Floor
1:50

First Floor
1:50